

2016SYE008 – 316-320 Taren Point Road, Caringbah

DA15/1586

## ASSESSMENT REPORT APPENDICES

Appendix	A	Draft Conditions of Consent
	B	Applicants Response to Additional Information Request dated 26 April 2016

**DRAFT CONDITIONS OF DEVELOPMENT CONSENT**  
**Development Application No. DA15/1586**

1. Approved Plans and Documents

The development must be undertaken substantially in accordance with the details and specifications set out on the Plan / Drawings:

<b><i>Plan number</i></b>	<b><i>Reference</i></b>	<b><i>Prepared by</i></b>	<b><i>Date</i></b>
DA0.04/C	Site Plan	Marchese partners	22 April 2016
DA1.01/H	Basement 2	Marchese partners	17 May 2016
DA1.02/H	Basement 1	Marchese partners	17 May 2016
DA1.03/H	Ground Floor Plan	Marchese partners	12 May 2016
DA1.04/I	Level 1-3 Typical Floor Plan	Marchese partners	23 May 2016
DA1.05/I	Level 4 Floor Plan	Marchese partners	17 May 2016
DA1.06/F	Roof Plan	Marchese partners	17 May 2016
DA2.01/D	West Elevation	Marchese partners	17 May 2016
DA2.02/C	South Elevation	Marchese partners	22 April 2016
DA2.03/C	East Elevation	Marchese partners	22 April 2016
DA2.04/E	North Elevation	Marchese partners	17 May 2016
DA3.01/E	Section A	Marchese partners	17 May 2016
DA3.02/E	Section B	Marchese partners	17 May 2016
DA3.03/C	Detailed Façade Section	Marchese partners	17 May 2016
DA4.08/B	Storage Schedule	Marchese partners	12 May 2016
LS-201/D	Landscape Plan Ground	Marchese partners	26 April 2016
LS-202/A	Landscape Plan Level 4	Marchese partners	26 April 2016
LS-203/C	Landscape Plan Roof	Marchese partners	26 April 2016
LS-301/B	Landscape Plan Section AA	Marchese partners	26 April 2016
LS-302/BB	Landscape Sections Section BB	Marchese partners	26 April 2016
LS-401/B	Landscape Details	Marchese partners	26 April 2016
LS-402/B	Landscape Details	Marchese partners	11 September 2015
20150368/SW0 2/A	Stormwater Concept Design / Basement 2 Plan	S & G Consultants Pty Limited	2 December 2015
20150368/SW0 3/A	Stormwater Concept Design / Ground Floor Plan	S & G Consultants Pty Limited	2 December 2015
20150368/SW0	Stormwater Concept	S & G Consultants	2 December

4/A	Design / Ground Floor Plan	Pty Limited	2015
20150368/SW05/A	Stormwater Concept Design / Roof Plan	S & G Consultants Pty Limited	2 December 2015
20150368/SW07/A	Stormwater Concept Design / Details Sheet	S & G Consultants Pty Limited	2 December 2015

and any details on the application form and on any supporting information received with the application except as amended by the following conditions.

**Note:** The following must be submitted to Sutherland Shire Council prior to the commencement of any building.

- i) A Construction Certificate.
- ii) Notification of the appointment of a Principal Certifying Authority and a letter of acceptance from that Principal Certifying Authority.
- iii) Notification of the commencement of building works with a minimum of 2 days notice of such commencement.

## 2. Design Changes Required

### **A. Before Construction**

The following design changes must be implemented:

- i) Two street trees to the north of the proposed footpath crossing are to be removed to allow for improved sight lines.
- ii) The vertical clearance into the basement must be increased to 3.5m minimum (without increasing the height of the approved ground floor level) to facilitate access for the garbage vehicle accessing the upper basement level.
- iii) The basement driveway must be setback 1m from the northern boundary.
- iv) Increase the communal open space area provided at the rear at ground level to 52.5m<sup>2</sup> minimum and splay the eastern entry into the development from the rear boundary and provide communal seating to cleared areas 3m either side of stair access.
- v) A toilet is to be provided on the roof adjacent to the lift.
- vi) Units 9 and 10 on the ground level are to be deleted from the proposal.
- vii) Side and rear boundary fencing is to be a maximum height of 1.8m when measured from natural ground level at any point.
- viii) All storage areas shown in blue on the Storage schedule (DA4.08/B dated 12 May 2016) must be fitted with built in cupboards, shelves or the like.
- ix) An openable skylight is to be provided to unit 5 on the fourth floor.

Details of these design changes must be included in documentation submitted with the application for a Construction Certificate.

## 3. Affordable Rental Housing - Restriction as to User and Ongoing Management

### **A. Before Occupation**

Prior to the issue of any Occupation Certificate, a Restriction as to User must be

registered against the title of the property in accordance with section 88E of the Conveyancing Act 1919. This restriction must:

- i) Limit the use of the following 26 units for the purposes of affordable housing for 10 years from the date of issue of any Occupation Certificate:

Floor	Ground	Level 1	Level 2	Level 3	Level 4
Unit No. for Affordable Housing	2	2	2	2	1
	2	3	3	3	2
	4	4	4	4	3
	5	5	5	5	4
	9	6	6	10	
		10	10		

- ii) Specify that the affordable housing must be managed by a registered community housing provider, in accordance with Clause 17 of the State Environmental Planning Policy (Affordable Rental Housing) 2009.

## **B. Ongoing**

The affordable housing component of the development must be managed by a registered community housing provider during the abovementioned 10 year period.

## **4. Public Place Environmental, Damage & Performance Security Bond**

### **A. Before Construction**

Prior to the issue of a Construction Certificate, the person acting on this consent must provide security to Sutherland Shire Council against damage caused to any Council property and / or the environment as a consequence of the implementation of this consent. The security may be provided by way of a deposit with Council or a bank guarantee. A non refundable inspection / administration fee is included in the bond value.

It is the responsibility of the person acting on this consent to notify Sutherland Shire Council of any existing damage to public areas in the vicinity of the development site by the submission of a current dilapidation report supported by photographs. This information must be submitted to Council at least two (2) days prior to the commencement of works.

In the event that the dilapidation report is not submitted two days prior to commencement and the public area sustains damage the person acting on this consent may be held liable.

Should any public property and / or the environment sustain damage as a result of the works associated with this consent, or if the works put Council's assets or the environment at risk, Council may carry out any works necessary to repair the damage and / or remove the risk. The costs incurred must be deducted from the bond.



The value of the bond is \$5200.

**Note:** Bond amount includes a non refundable administration fee which must be paid separately.

Use of Bank Guarantee - As bond releases may occur under different timeframes only one bond amount / bond purpose is permitted on a Bank Guarantee. Multiple bonds will require multiply bank guarantees to be lodged.

#### **B. After Occupation**

A request for release of the bond may be made to Sutherland Shire Council after all works relating to this consent have been completed. Such a request must be submitted to Council on the 'Bond Release Request Form' signed by the owner or any person entitled to act on the consent and must be accompanied by a current dilapidation report including photographs.

### **SECTION 94 CONTRIBUTIONS**

The following dedication of land and/or monetary contributions have been levied in relation to the proposed development pursuant to Section 94 of the Environmental Planning and Assessment Act 1979.

The Contributions Plan may be viewed on line on Council's web page (search for S94 Contributions Plan). A copy may also be viewed or purchased at the Customer Service Counter in Council's Administration Centre, Eton Street, Sutherland during office hours.

#### **5. Monetary Contribution for Shire-Wide Open Space and Recreational Facilities**

##### **A. Before Construction**

Pursuant to Section 94 of the Environmental Planning and Assessment Act 1979 and Sutherland Shire Council's Contributions Plan - Shire Wide Open Space and Recreation Facilities 2005, a monetary contribution of \$129,872.84 must be paid to Sutherland Shire Council toward the cost of land identified for acquisition and works contained in the Works Programme of the Contributions Plan.

This contribution has been assessed and calculated in accordance with the Shire Wide Open Space and Recreation Facilities 2005, Contribution Plan on the basis of 20 units, with a concession for three lots.

The contribution will be indexed on 1 July in each year in accordance with the Implicit Price Deflator for Gross Fixed Capital Expenditure - Private Dwellings, with amended rates being available from Council.

Payment must be made prior to the issue of the Construction Certificate.

#### **6. Community Facilities, Shire Wide 2003 Plan**

##### **A. Before Construction**

A monetary contribution of \$22,772.56 must be made for the cost of providing community facilities.

This contribution has been assessed pursuant to s.94 of the Environmental Planning and Assessment Act, and the Sutherland Shire Contributions Plan - Community Facilities in the Sutherland Shire, after identifying the likelihood that this development will require or increase the demand for community facilities within the shire. It has been calculated on the basis of 20, with a concession for three lots.

The contribution will be indexed on 1 July in each year in accordance with the Implicit Price Deflator for Gross Fixed Capital Expenditure - Private Dwellings, with amended rates being available from Council.

Payment must be made prior to the issue of the Construction Certificate

#### 7. Approvals Required under Roads Act or Local Government Act

##### **A. Before Construction**

No occupation or works are to be carried out on public land (including a road or footpath) or access provided over a public reserve adjacent to the development site without approval being obtained from Sutherland Shire Council and the necessary fee paid under the Roads Act 1993 and/or the Local Government Act 1993.

**Note: Approval under the Roads Act or Local Government Act cannot be granted by a Principal Certifying Authority or by a Private Certifier. Failure to obtain approval may result in fines or prosecution.**

#### 8. Design and Construction of Works in Road Reserve (Council Design)

##### **A Design**

Council has determined that the proposed development generates a need for the following works to be undertaken by the applicant in the road reserve. To this end a Detailed Frontage Works application under the Roads Act must be submitted to Sutherland Shire Council, prior to the release of the Construction Certificate. The form is available on Council's website. A fee applies for the relevant inspections, assessment, coordination, creation of design brief and the issue of permits providing consent to undertake frontage works. The design will be quoted separately by Council's Design Services unit.

This design will generally comply with the approved architectural design drawings, except where amended and/or addressing the following;

- i) Establish the property alignment levels and crossing profiles,
- ii) Construct a vehicle crossing that is 6m wide at the boundary splaying to 7m wide at the kerb on the northern side of the crossing.
- iii) Construct retaining / slope stability walls where required,
- iv) Road pavement construction where required,
- v) Alter / install street signage where required,
- vi) Regrade, topsoil, turf and landscape the footpath verge to final design levels,
- vii) Adjust public services infrastructure where required,
- viii) Ensure there are adequate transitions between newly constructed and existing infrastructure.

Evidence of the lodgement of this application must be provided to the PCA prior to the release of the Construction Certificate.

#### **B. Before Construction**

Prior to the release of the Construction Certificate property alignment levels and crossing profiles must be obtained from Sutherland Shire Council.

#### **C. Before Occupation**

Prior to the occupation of the building or the issue of an Occupation/Subdivision Certificate the following certification must be provided to Sutherland Shire Council:

- i) The supervising engineer must certify the road frontage works were constructed to their satisfaction and in accordance with the development consent and associated Roads Act consent.
- ii) The supervising arborist, landscape designer or landscape architect must certify the street trees are the correct species and were installed in accordance with the development consent and associated Roads Act consent.

### **9. Site Management Plan**

#### **A. Before Commencement of Works including Demolition**

An Environmental Site Management Plan must accompany the application for a Construction Certificate. If demolition is to commence prior to the issue of a Construction Certificate the applicant must submit to Sutherland Shire Council a separate Demolition Site Management Plan. These plans must satisfy the Objectives and Controls of Sutherland Shire Development Control Plan 2015 relating to environmental site management and must incorporate the following throughout demolition and construction:

- i) safe access to and from the site during construction and demolition
- ii) safety and security of the site, road and footpath area including details of proposed fencing, hoarding and lighting
- iii) method of loading and unloading excavation machines, building materials
- iv) how and where, construction materials, excavated and waste materials will be stored.
- v) methods to prevent material being tracked off the site onto surrounding roadways
- vi) erosion and sediment control measures

#### **B. During Works**

The site management measures set out in the above plan must remain in place and be maintained throughout the period of works and until the site has been stabilised and landscaped.

## 10. Pre-commencement Inspection

### **A. Before Works**

A Pre-commencement Inspection/meeting is to be convened by the Applicant on-site a minimum 5 days prior to any demolition and/or construction activity and between the hours of 8.00 am and 4.30 pm Monday to Friday. The meeting must be attended by a representative of Council's Civil Assets Branch, the Principal Certifying Authority, the builder/site manager of the building/civil construction company and where necessary the supervising engineer. The attendance of the owner is required when it is intended to use more than one builder/principal contractor throughout the course of construction.

The purpose of the meeting is to:

- i) Ensure safe passage for pedestrians, Work and Hoarded Zones are maintained in accordance with Council requirements;
- ii) Check the installation and adequacy of all traffic management devices;
- iii) Confirm that the supervising engineer has a copy of Council's Specification for Civil Works Associated with Subdivisions and Developments.

**Note:** An inspection fee must be paid to Council prior to the lodgement of the Notice of Commencement. Please refer to Sutherland Shire Council's Adopted Schedule of Fees and Charges.

## 11. Supervising Engineer

### **A. Before Construction**

The applicant must engage an Accredited Certifier in civil engineering works or a Charter Civil Engineer to supervise construction of any:

- i) Road frontage works.
- ii) Construction / installation of stormwater drainage.
- iii) Rainwater harvesting & reuse.
- iv) All other works that form part of a subdivision.

### **B. During Construction**

The engineer must supervise the works as listed above to ensure compliance with:

- i) All relevant conditions of development consent
- ii) Any Consent issued under the Roads Act for this development

### **C. Before Occupation**

The supervising engineer must certify the works required in "A" above were undertaken and completed in accordance with the requirements of this Development Consent and to their satisfaction.

## 12. Internal Driveway Profile

### **A. Before Construction**

An Access Application must be made to Council to obtain footpath crossing and boundary alignment levels before commencing the final design of internal driveways, paths and car park area.

## **B. Design**

The internal driveway profile must be designed to:

- i) Provide adequate sight distance for the safety of pedestrians using the footpath area.
- ii) Align with Council's issued footpath crossing levels.
- iii) Comply with AS2890.1(2004) in relation to the design of vehicular access, parking and general manoeuvring for the B85 vehicle.
- v) Comply with AS2890.2(2002) in relation to the design of vehicular access, parking and general manoeuvring for the garbage servicing vehicle.
- vi) The maximum longitudinal grade of the driveway must not exceed grades suitable for the garbage service vehicle.

Certification by an appropriately qualified person to the effect that these design requirements have been met must accompany the application for a Construction Certificate.

### **13. Basement Car Park Design**

#### **A. Design**

The basement car park must be designed in accordance with AS 2890 and must incorporate the following:

- i) A minimum headroom of 3.5m (for the upper basement level and 2.2m for the lower basement level) measured from the parking floor to the underside of any beam, ventilation duct or service conduit, or to the underside of any door including a security door and fittings when those doors are in an open position.
- ii) Any garage must have a minimum width of 3m with a minimum door opening of 2.75m wide x 2.2m high clear of any necessary hinges, jambs or fixtures required for the operation of garage doors or any services within the garage area.
- iii) The proposed security door fitted to the car parking area entrance must be independently mounted on rubber pads to prevent vibration noise transmission through the concrete walls and / or columns.
- iv) A parking bay within each double adaptable garage must have a clear width of 3.8m, a clear length of 5.4m and a head height clearance of 2.5m, and
- v) Where a remote controlled garage door is fitted when fully opened it must not encroach into the space envelope specified in figure 2.7 of AS2890.6:2009.

#### **B. Before Construction**

Certification of the above must accompany the application for a Construction Certificate.

### **14. Drainage Design - Detailed Requirements**

#### **A. Design**

The stormwater drainage system must be connected to Council's existing piped system and designed in accordance with the approved stormwater drainage design drawing, Australian Standard AS3500.3:2003 and the BASIX Certificate issued for this development.

The design must include;

- i) A detailed drainage design supported by drainage calculations.
- ii) The rate of discharge of stormwater from the site to a drainage system under Council's control shall be controlled so that it does not exceed the pre-development rate of discharge.

#### **B. Before Construction**

Certification issued by an appropriately accredited person to the effect that these design requirements have been met must accompany the application for a Construction Certificate.

#### **C. Before Occupation**

The above work must be completed in accordance with 'A' above to the satisfaction of the supervising engineer before the issue of any Occupation Certificate.

**Note:** Upon approval of the stormwater management designs a notation will be added to the 149 certificate in relation to any required detention facility.

### **15. Noise Control During Construction and Demolition**

To minimise the impact on the surrounding environment:

#### **A. During Works**

The LAeq sound pressure level measured over a period of 15 minutes when the construction or demolition site is in operation, must not exceed the ambient background level (LA90 15min) by more than 10dB(A) when measured at the nearest affected premises.

### **16. Damage to Adjoining Properties**

#### **A. Before Works**

To minimise vibration damage and loss of support to buildings / structures and properties in close proximity to the development site, a Geotechnical Engineers Report must be prepared detailing constraints to be placed on earth moving and building plant and equipment and the method of excavation, shoring, underpinning and support. This report must be provided to the person undertaking the excavation and the Principal Certifying Authority.

#### **B. During Works**

The constraints and recommendations of the Geotechnical Engineers Report must be implemented.

### **17. Public Utilities - Subdivision**

This condition is imposed to facilitate the provision of services to the development and reduce conflicts between services and lot boundaries, buildings or associated facilities.

## **A. Before Construction**

Suitable arrangements must be made with all relevant utility service providers to ensure the development is appropriately serviced by electricity, gas, telecommunications and the like, and any necessary underground conduits are provided.

**Note:** Should these requirements result in any significant change to the approved design an application must be made to modify the consent under s.96 of the Environmental Planning and Assessment Act.

## **18. Approved Landscape Plan**

### **A. Design Changes**

The landscape works on the site must be carried out in accordance with the approved Landscape Plan except as amended by the following:

- i) Delete two *Eucalyptus punctata* (Grey Gum) to rooftop planters and replace with three (2) *Banksia serrata* (Old Man Banksia)
- ii) Align Planting Schedule for 'Landscape Roof Plan' to reflect proposal.
- iii) Provide kitchen facilities and toilet to communal rooftop open space.
- iv) Locate kitchen facilities and BBQ under all weather covering.
- v) Delete *Eucalyptus punctata* (Grey Gum), *Ulmus parvifolia* (Chinese Elm) and *Banksia integrifolia* (Coastal Banksia) to planting bed along north-east boundary and replace with three (3) *Banksia serrata* (Old Man Banksia)
- vi) Delete *Agapanthus* 'Snow Storm' (Agapanthus), *Heimerocallis fulva* (Day Lily), *Pennisetum* 'Rubrum' (Fountain Grass) and *Diets* 'Bicolor' (Wild Iris) listed under mixes F, G and H in the planting schedule and replace with species listed in Sutherland Shire Council's Native Plant Selector.
- vii) Delete *Rytidosperma fulvum* (Wallaby Grass) and *Themeda australis* (Kangaroo Grass) to Groundcover Mix C for Western Boundary listed in the planting schedule and replace with *Lomandra multiflora* (Matt Rush), *Dianella caerulea* (Flax lily) and *Hardenbergia violacea* (Native Sarsparilla).
- viii) Delete two proposed *Banksia integrifolia* (Coastal Banksia) to entrance from Taren Point Road and replace with two (2) *Backhousia myrtifolia* (Grey Myrtle)
- ix) Delete proposed *Lagerstroemia indica* (Crepe Myrtle) to Units 5 and 5 and replace with two (2) *Backhousia myrtifolia* (Grey Myrtle).
- x) Delete four *Tristaniosopsis laurina* (Watergum) to front setback planting and replace with three (3) *Glochidion ferdinandi* (Cheese Tree).
- xi) Plant Acmena or Syzigium varieties to the one meter wide planting strip along the northern boundary adjacent to the basement driveway.
- xii) Delete four *Cupaniopsis anacardoides* to eastern boundary and replace with three (3) *Backhousia myrtifolia* (Grey Myrtle).
- xiii) Delete proposed 'Acacia Nurse Plants' listed on schedule.
- xiv) Maintain natural ground level to the rear planters in the north-eastern and south eastern corners to protect the existing trees along the western boundary of 113 Willarong Road, Caringbah.
- xv) Cluster trees along southern boundary to improve solar access to units 1-3 and 9-10.
- xvi) Splay eastern entry to development from 113 Willarong Road and provide communal seating to cleared areas either side of stair access.

- xvii) All under storey planting must occur at a minimum rate of three plants per meter.
- xviii) All trees installed on site are to be 5-25L pot sizes to ensure better establishment.
- xix) Tree Protection Zones (TPZ) must be shown on plan for all existing trees and/or natural site features to be retained and protected.
- xx) All landscaped areas must be provided with a water-efficient irrigation system, connected to a pump and the rainwater/OSD tank, to enable effective landscape maintenance.
- xxi) The private open space of each dwelling must be provided with one tap with a removable water key, connected to a pump and the rainwater tank/OSD tank.
- xxii) As the subject site is identified as being within a Greenweb Restoration area, all new tree plantings must be indigenous species and 50% of understorey plants must be indigenous species. All indigenous species must be selected from Council's 'Native Plant Selector' available on Council's website ([www.sutherlandshire.nsw.gov.au](http://www.sutherlandshire.nsw.gov.au) <<http://www.sutherlandshire.nsw.gov.au>> and search for Native Plant Selector)

The applicant must engage a suitably qualified Landscape Designer or Landscape Architect to oversee any design changes to the approved Landscape Plan and amendments required above. Details of these design changes must be included in the documentation submitted with the application for a Construction Certificate.

**Notes:**

A Landscape Designer is a person eligible for membership of the Australian Landscape Designers and Managers and a Landscape Architect is a person eligible for membership of the Australian Institute of Landscape Architects as a Registered Landscape Architect.

If demolition works to occur prior to the Construction Certificate being issued, tree protection measures must be installed prior to commencement of demolition.



## **B. Prior to Occupation/Occupation Certificate**

The landscape works must be completed in accordance with the approved Landscape Plan and amendments required by 'A' above. A Final Landscape Inspection must be carried out and a certificate issued by Council's landscape officer prior to occupation or the issue of an occupation certificate (interim or final). This certificate is required to ensure that all landscaping works and the deep soil percentage requirements have been carried out in accordance with 'A' above, and that all new indigenous plants on the site and within the road reserve are the correct species.

To arrange a Final Landscape Inspection please phone 9710-0333 48 hours prior to the required inspection date. An inspection fee of \$225 is required to be paid, prior to the inspection. Additional inspections will be charged at a rate of \$150 each.

## **C. Ongoing**

All landscaping works required by 'A' above must be maintained for 12 months following the final landscape inspection date.

Any plants found faulty, damaged, diseased or dead shall be replaced with the same species in the same sized container within one month with all costs borne by the owner.

**Note:** If difficulty is experienced sourcing suitable indigenous plants from other suppliers, plants grown from locally provenance seed may be available from:

Sutherland Shire Council Nursery  
345 The Boulevarde, GyMEA  
Ph: 02 9524 5672

## **19. Trees on Private Land**

### **A. Tree Removal**

The removal of the following trees is approved:

- i) Trees identified on the 'Tree Removal/Retention Plan' (dated, 18/05/16) and as listed below:

<b>Tree No.</b>	<b>Tree Species (botanical and common name)</b>	<b>Location</b>
4	<i>Mangifera sp.</i> (Mango) EXEMPT	Refer to Tree Removal/Retention Plan
5	<i>Sempervirens stricta</i> (Pencil Pine) EXEMPT	"
6	<i>Eriobotrya japonica</i> (Loquat) EXEMPT	"
7	<i>Morus sp.</i> (Mulberry) EXEMPT	"
8	<i>Ligustrum sp.</i> (Privet) EXEMPT	"
9	<i>Morus sp.</i> (Mulberry) EXEMPT	"
10	<i>Cinnamomum camphora</i> (Camphor	"

	Laurel) EXEMPT	
11	<i>Ligustrum sp.</i> (Privet) EXEMPT	“
12	<i>Plumeria sp.</i> (Frangipani) EXEMPT	“
14	<i>Mangifera sp.</i> (Mango) EXEMPT	“

- ii) Trees growing within the 3 metres of the building footprint of the approved structures.
- iii) Any declared noxious plant. The applicant is to ensure that all noxious plants are properly identified and controlled/removed.
- iv) Any tree species exempted by the Sutherland Shire Local Environmental Plan 2015.

All other vegetation that would require approval to be removed must be protected.

## **B. Design**

- i) No trees onsite require approved for removal as part of this consent as they are all exempt.
- ii) No replacement trees are required to be planted.

## **20. Removal and/or Pruning of Trees on Council Land**

### **A. Design**

Council has preferred supplier agreements in place with arborists who are approved to carry out arbor works on Council land. Removal / Pruning of the tree/s listed below must only be undertaken using Council's preferred supplier at the applicant's expense. The applicant is responsible for contract management and payment of the arborist prior to works being undertaken.

Select from Council's list of preferred suppliers listed on Council's website: <http://www.sutherlandshire.nsw.gov.au/Residents/Trees/Trees-on-Council-or-Public-Land>. Payment of the quoted amount provided must be made prior to any works commencing on site.

The following trees have been approved for removal within the road reserve:

Tree No.	Tree Species (botanical and common name)	Location
16	<i>Tristanopsis laurina</i> (Watergum)	South of driveway to 316 Taren Point Road

### **B. Prior to the Issue of a Construction Certificate**

Prior to the issue of the Construction Certificate the applicant must pay Council the scheduled fee of \$400 for the replacement of the tree/s within the road reserve in accordance with Council's 4 to 1 replacement policy (Sutherland Shire Council's Development Control Plan).

## **21. Tree Retention and Protection**

### **A. Before Works**

Prior to the commencement of any demolition, excavation or construction works

on site the applicant shall engage a suitably qualified and experienced Arborist to oversee the measures for the protection of existing trees as listed below.

**Note:** An Arborist is a person with a current membership of the National Arborist's Association of Australia at a grade of General Member, Affiliate Member or Life Member, or alternatively a person who has obtained an Australian Qualifications Framework AQF Level 5 in Arboriculture.

Prior to the commencement of any works, including demolition, the supervising Arborist must oversee the protection of the following tree/s as listed in the table below / as marked on the approved Landscape Plan No.LS-201 prepared by Greenplan dated 26/05/16 to ensure the installation and adequacy of all tree protection measures.

Tree No.	Tree Species (botanical and common name)	Location
1	<i>Eucalyptus robusta</i> (Swamp Mahogany)	Eastern boundary of 113 Willarong Road, Caringbah
2	<i>Eucalyptus</i> sp. (Unknown)	Eastern boundary of 113 Willarong Road, Caringbah
3	Various cluster of small trees/shrubs	Eastern boundary of 113 Willarong Road, Caringbah
13	<i>Tristaniopsis laurina</i> (Watergum)	Verge
17	<i>Tristaniopsis laurina</i> (Watergum)	Verge
18	Various cluster of small trees/shrubs	Southern boundary of 314 Taren Point Road

The trees identified for retention must be protected by the following measures:

- i) To preserve the trees numbered 1-3, the fence or wall structure to the eastern boundary must be light weight post and beam construction. The posts must be hand dug and located as such that no roots of a diameter greater than 50mm are severed or injured in the process of any site works during the construction period. The beam must be located on or above the existing soil levels. The location and details of any footings within the Tree Protection Zone (TPZ) shall be detailed in accordance with i) above and on the Construction Certificate Plans.
- ii) All natural ground levels must be retained within the rear planters to the north eastern and south eastern boundary to protect the trees numbers 1-3.
- ii) Protective fencing constructed of 1.8m high chain wire mesh supported by robust posts must be installed in accordance with the Landscape Plan No.LS-201 prepared by Greenplan dated 26/05/16. Signage must be erected on the fence with the following words clearly displayed "TREE PROTECTION ZONE, DO NOT ENTER".
- iii) The tree protection zone within the protective fencing must be mulched with a maximum depth 75mm of suitable organic mulch (woodchips or composted leaf chip mulch) and kept regularly watered for the duration of the works subject to this consent.
- iv) No development or associated activity is permitted within the fenced tree

protection zone for the duration of works subject to this consent. This includes vehicular or pedestrian access, sheds, washout areas, excavations, backfilling, installation of services (including stormwater), removal of top soil, stockpiling of soil or building materials.

- vi) Where site access/egress is required over the roots of trees identified for retention and protection, provide hardwood rumble boards over a 200mm thick layer of wood chip.

#### **B. During Construction**

- i) The tree protection measures detailed in 'A' above must be maintained during construction.
- ii) The supervising Arborist must be present during any approved hand excavation or under boring works within the Tree Protection Zone (TPZ) of any tree identified for retention and protection and have the authority to direct works to ensure the trees long term preservation;
- iii) The supervising Arborist must strictly supervise that there is no disturbance or severing of roots greater than 30mm diameter and to cleanly cut those roots between 10-30mm in diameter.
- iv) If the tree/s identified for retention in 'A' above are damaged or destabilised during construction then works must cease and Council's Tree Assessment Officer (ph. 9710 0333) must be contacted to assess the tree/s and recommend action to be taken.

### **22. Car Wash Bays**

To prevent contamination of the stormwater drainage system a car-wash bay must be provided on site:

#### **A. Design**

The wash-bay must be graded to an internal drainage point and connected to the sewer.

#### **B. Before Construction**

Details of the design satisfying 'A' above must accompany the application for a Construction Certificate.

#### **C. Before Occupation**

The Principal Certifying Authority must be satisfied that

- i) 'A' above has been complied with and
- ii) any discharge to the sewer from the premises is in accordance with the requirements of Sydney Water.

#### **D. Ongoing**

All car-wash, engine degreasing and steam cleaning must be conducted in the wash-bay detailed in 'A' above. Wastewater must be treated in accordance with the requirements of Sydney Water.

### **23. Garbage, Recycling and Green-waste Storage Area**

To ensure the proper storage of waste from the premises:

#### **A. Design**

The garbage and recycling storage area must have a smooth impervious floor that is graded to a floor waste. A tap and hose must be provided to facilitate regular cleaning of the bins and all waste water must be discharged to the sewer in accordance with the requirements of Sydney Water. Garbage bins must be designed to prevent the escape of any liquid leachate and must be fitted with a lid to prevent the entry of vermin.

#### **B. Before Construction**

Details of compliance with 'A' above must form part of the documentation accompanying the applications for a Construction Certificate.

#### **C. Before Occupation**

The works must be completed prior to the issue of any Occupation Certificate.

#### **D. Ongoing**

All waste and recycling bins must be stored wholly within the approved waste storage area. The bins must only be put out for collection in the evening prior to pick-up and returned to the storage area as soon as possible after pick-up.

### **24. External Lighting - (Amenity)**

To ensure that any lighting on the site does not cause a nuisance to neighbours or motorists on nearby roads:

#### **A. Design**

All lighting must be designed in accordance with Australian Standard AS4282 - Control of the Obtrusive Effects of Outdoor Lighting.

#### **B. Ongoing**

All lighting must be operated and maintained in accordance with the Standard above.

### **25. Noise Control - Residential Air Conditioning Unit**

To minimise the noise impact on the surrounding environment:

#### **A. Design**

The unit must be designed and/or located so that noise generated does not cause an LAeq (15min) sound pressure level in excess of 5 dB(A) above the ambient background level when measured on or within any residential property.

#### **B. Ongoing**

- i) The unit must be operated in accordance with 'A' above.
- ii) Between the hours of 10.00pm and 8.00am on weekends and public holidays and 10.00pm and 7.00am any other day, noise emitted must not be heard within any residence with its windows and/or doors open or closed.

## 26. Noise Control - Design of Plant and Equipment (General Use)

To minimise the impact of noise from the development, all sound producing plant, equipment, machinery and mechanical ventilation systems

### **A. Design**

All plant and equipment must be designed and / or located so that the noise emitted does not exceed an LAeq sound pressure level of 5dB above the ambient background level when measured at the most affected point on or within any residential property boundary.

**Note:** The method of measurement of sound must be carried out in accordance with Australian Standard 1055.1.

### **B. Before Occupation**

Certification must be provided by a qualified acoustic engineer that all work associated with the installation of the acoustic measures has been carried out in accordance with 'A' above.

### **C. Ongoing**

All plant and equipment must be operated and maintained in accordance with 'A' above.

## 27. Noise and Vibration Control - Residential Car Park

To minimise noise and vibration from use of the security door in the car park:

### **A. Design**

The proposed security door fitted to the car parking area entrance must be independently mounted on rubber pads or otherwise installed to prevent vibration noise transmission through the concrete walls and / or columns.

### **B. Before Occupation**

The Principal Certifying Authority must be satisfied that 'A' above has been complied with.

## 28. Car-Park Ventilation - Alternate System

To ensure adequate ventilation for the car park:

### **A. Design**

As the basement car-park does not appear to comply with the natural ventilation requirements of Section 4 of Australian Standards AS1668.2 -1991, the car-park must be either mechanically ventilated by a system complying with AS1668.2 -1991 or alternatively, the natural ventilation system must be certified by a qualified mechanical ventilation engineer to the effect that the system is adequate. The certification shall confirm that the system will protect the health of occupants of the car park at anytime it is used and satisfies the atmospheric contaminate exposure rates specified in the Worksafe Australia document: Workplace Exposure Standards for Airborne Contaminants.

## **B. Before Construction**

Details of compliance with 'A' above must form part of the application for a Construction Certificate.

## **C. Before Occupation**

Certification must be provided by a qualified mechanical ventilation engineer that the installation of the ventilation system has been carried out in accordance with 'A' above.

## **D. Ongoing**

The ventilation system must be operated and maintained in accordance with 'A' above.

## **29. Demolition Work**

To ensure that demolition of structures is carried out in an environmentally acceptable and safe manner:

### **A. Before Commencement**

If works involve the removal of more than 10 square metres of asbestos material, a bonded asbestos licence is required. A friable asbestos licence is required to remove, repair or disturb any amount of friable asbestos. For further information contact the NSW Workcover Authority.

### **B. During Works**

- i) The demolition of the existing building must be carried out strictly in accordance with Australian Standard 2601 - The Demolition of Structures.
- ii) The applicant must ensure that the demolition contractor has a current public risk insurance coverage for a minimum of \$5 million. A copy of the Policy must be submitted to the Council prior to demolition.

To ensure that the removal and transportation of any asbestos material, regardless of the quantity, is carried out in an environmentally acceptable and safe manner, all work must comply with the following:

- a) Work Health and Safety Act 2011;
- b) Work Health and Safety Regulation 2011;
- c) Safe Work Australia Code of Practice - How to Manage and Control Asbestos in the Workplace;
- d) Code of Practice for the Safe Removal of Asbestos 2nd Edition [NOHSC:2002(2005)];
- e) Workcover NSW 'Working with Asbestos - Guide 2008';
- f) Protection of the Environment Operations Act 1997; and
- g) Protection of the Environment Operations (Waste) Regulation 2005.

Asbestos waste in any form must be disposed of at a waste facility licensed by the NSW EPA to accept asbestos waste. Any asbestos waste load over 100kg (including asbestos contaminated soil) or 10m<sup>2</sup> or more of asbestos sheeting must be registered with the EPA on-line reporting tool WasteLocate. More information can be found at <https://wastelocate.epa.nsw.gov.au>.

### 30. Dilapidation Report - Adjoining Properties

#### **A. Before Works**

To assist in the resolution of any future disputes about damage to properties adjoining the development site, prior to commencement of any work on site the Applicant or principal contractor must provide dilapidation reports on the adjacent buildings at No.s 314 & 322 Taren Point Road, including any basements and ancillary structures. The reports must be provided to the Principal Certifying Authority and to the owners of the properties that are the subject of the report.

The reports must be prepared by a suitably qualified and experienced person, such as a structural engineer.

### 31. Design Requirements for Adaptable Housing

#### **A. Design**

A report prepared by a suitably qualified Adaptable Housing Specialist must be submitted with the Construction Certificate, demonstrating that the development complies with the requirements of AS4299 - Adaptable Housing. The report must contain a completed checklist (Appendix A - AS4299) demonstrating compliance with the requirements of a Class C Adaptable House.

### 32. Verification of Design for Construction - SEPP 65

#### **A. Design**

Design verification must be provided by a registered Architect pursuant to SEPP 65 stating that the design intent approved by the Development Consent has been maintained in the building / architectural plans submitted with the Construction Certificate. This must accompany the application for a Construction Certificate.

#### **B. Before Occupation**

Prior to the issue of the final Occupation Certificate design verification must be provided in accordance with SEPP 65.

### 33. Certification Requirement of Levels

#### **A. During Construction**

At the following stages of construction:

- i) Prior to the pouring of each floor or roof slab,
- ii) Upon completion of the roof frame.

A registered surveyor must provide the Principal Certifying Authority with Certification that the stage of structure complies with the development consent in respect of levels.

#### **B. Before Occupation**

The certification referred to above must form part of the application for an Occupation Certificate.



### 34. Sydney Water Tap in<sup>TM</sup> & Compliance Certificate

#### **A. Before Construction**

The plans approved as part of the Construction Certificate must be submitted to a Sydney Water Tap in<sup>TM</sup> to determine as to whether the development will affect Sydney Water's sewer and water mains, stormwater drains and / or easements, and if further requirements need to be met. Customers will receive an approval receipt. Please refer to the web site [www.sydneywater.com.au](http://www.sydneywater.com.au).

#### **B. Before Occupation / Prior to issue of Subdivision Certificate**

A Compliance Certificate under s73 of the Sydney Water Act, 1994, must be submitted to Council by the Principal Certifying Authority. Sydney Water may require the construction of works and/or the payment of developer charges.

#### **Sydney Water Advice on Compliance Certificates:**

An application must be made through an authorised Water Servicing Coordinator. For details see the Sydney Water web site at [www.sydneywater.com.au/customer/urban/index](http://www.sydneywater.com.au/customer/urban/index) or by telephone 13 20 92.

Following application a "Notice of Requirements" will be forwarded detailing water and sewer extensions to be built and charges to be paid. Please make early contact with the Coordinator, since building of water / sewer extensions can be time consuming and may impact on other services as well as building, driveway or landscaping design.

### 35. Dial Before You Dig

#### **A. Before Construction**

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or telephone on 1100 before excavating or erecting structures (this is the law in NSW).

It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.

### 36. Noise Control and Permitted Hours for Building and Demolition Work

#### **A. During Works**

To minimise the noise impact on the surrounding environment:

- i) The LAeq sound pressure level measured over a period of 15 minutes when the construction or demolition site is in operation, must not exceed the ambient background level (LA90 15min) by more than 10dB(A) when measured at the nearest affected premises.
- ii) All building and demolition work must be carried out only between the hours of 7.00am and 6.00pm Monday to Friday inclusive, 8.00am and 3.00pm Saturdays. No work must be carried out on Sundays and Public Holidays.

On five occasions, only for the purpose of pouring large floor or roof slabs, work may be carried out on the site from 7.00am to 8pm Monday to Friday, excluding Public Holidays on a week day.

In order to activate the extended hours of operation both Council and affected neighbours must be notified a minimum of 48 hours prior to commencement. Affected neighbours include those in the immediate vicinity, adjacent or adjoining the development site. Notification must be by way of written advice including:

- ☐ Date/s the extended hours will be utilized.
- ☐ The purpose of the extended hours - pouring large slab.
- ☐ Address of the development works / site.
- ☐ Contact name and number of appropriate site officer (supervisor or manager) for enquiries.

Notification to Council must include a copy of the letter and a map or list identifying those affected neighbours who have been notified.

### 37. Toilet Facilities

#### **A. During Works**

Toilet facilities must be available or provided at the work site at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site before works begin and must be maintained until the works are completed.

Each toilet must:

- i) be a standard flushing toilet connected to a public sewer, or
- ii) have an on-site effluent disposal system approved under the Local Government Act 1993, or
- iii) be a temporary chemical closet approved under the Local Government Act 1993

### 38. Street Numbering and Provision of Letter Box Facilities

#### **A. Before Occupation**

- i) Street / unit numbers must be clearly displayed.
- ii) Suitable letterbox facilities must be provided in accordance with Australia Post specifications.
- iii) The dwellings must have the following street address format:  
G01-G10, 316 Taren Point Road, Caringbah  
101-110, 316 Taren Point Road, Caringbah  
201-210, 316 Taren Point Road, Caringbah  
301-310, 316 Taren Point Road, Caringbah  
401-408, 316 Taren Point Road, Caringbah

### 39. Waste Management

#### **A Before Occupation**

A private contractor must be engaged for the removal of residential waste from the site.

#### **B Ongoing**

Waste removal is to be carried out by a private contractor at all times from within the site. The loading of trucks for waste removal must be carried out within the site not from the public roadway. All waste removal trucks that access the site must enter and leave the site in a forward direction.

#### 40. Basement Car Park Security Requirements

##### **A. Design**

The following design requirements must be satisfied:

- i) Security shutters / roller door must be installed at the main entry to the basement car park levels. An intercom system must be installed for visitors to gain entry.
- ii) Storage rooms within the basement car park levels must be fitted with deadlocks.
- iii) The basement car park levels must be painted in a light colour to reflect light (thereby improving security), appear larger and more spacious and reduce the number of lights required to illuminate the basement.

#### 41. Closed Circuit Television (CCTV)

To increase resident safety and security, a CCTV system must be installed to monitor all common areas (including letter boxes), the access / exit driveway and all basement car park levels including lift areas.

PROPOSED RESIDENTIAL FLAT BUILDINGS

316 - 320 TAREN POINT ROAD

CARINGBAH NSW 2229

DEVELOPMENT APPLICATION

17/05/2016

DRAWING SCHEDULE

DWG NO.	REV.	TITLE	SCALE AT A3
DA 0.00	G	COVER SHEET	NTS
DA 0.01	A	AERIAL PHOTO	NTS
DA 0.02	A	SURVEY	1:250@A3
DA 0.03	A	SITE ANALYSIS	1:400@A3
DA 0.04	C	SITE PLAN	1:250@A3
DA 1.01	H	BASEMENT 2	1:250@A3
DA 1.02	H	BASEMENT 1	1:250@A3
DA 1.03	H	GROUND FLOOR PLAN	1:250@A3
DA 1.04	H	LEVEL 1-3 TYPICAL FLOOR PLAN	1:250@A3
DA 1.05	I	LEVEL 4 FLOOR PLAN	1:250@A3
DA 1.06	F	ROOF PLAN	1:250@A3
DA 2.01	D	WEST ELEVATION	1:200@A3
DA 2.02	C	SOUTH ELEVATION	1:200@A3
DA 2.03	C	EAST ELEVATION	1:200@A3
DA 2.04	E	NORTH ELEVATION	1:200@A3
DA 3.01	E	SECTION A	1:200@A3
DA 3.02	E	SECTION B	1:200@A3
DA 3.03	C	DETAILED FACADE SECTION	1:50@A3
DA 4.01	B	SHADOW STUDY MID WINTER 01	NTS
DA 4.02	B	SHADOW STUDY MID WINTER 02	NTS
DA 4.03	B	SHADOW STUDY MID AUTUMN 01	NTS
DA 4.04	B	SHADOW STUDY MID SUMMER 01	NTS
DA 4.05	A	GROUND FLOOR PLAN GFA CALCULATIONS	1:200@A3
DA 4.06	A	LEVEL 1-3 TYPICAL FLOOR PLAN GFA CALCULATIONS	1:200@A3
DA 4.07	A	LEVEL 4 FLOOR PLAN GFA CALCULATIONS	1:200@A3
DA 4.08	B	STORAGE SCHEDULE	1:500@A3
DA 4.09	A	CROSS VENTILATION DIAGRAMS	1:500@A3
DA 4.10	A	SOLAR ACCESS ANALYSIS 01	NTS
DA 4.11	A	SOLAR ACCESS ANALYSIS 02	NTS
DA 4.12	A	SOLAR ACCESS DIAGRAMS	1:500@A3
DA 5.01	D	ADAPTABLE UNIT PLANS 01	1:100@A3
DA 5.01A	D	ADAPTABLE UNIT PLANS 01	1:100@A3
DA 5.02	D	LIVEABLE UNIT PLANS 01	1:100@A3
DA 6.01	B	PERSPECTIVE VIEWS 1	NTS
DA 6.02	B	PERSPECTIVE VIEWS 2	NTS
DA 6.03	B	PHOTOMONTAGE	NTS
DA 6.04	B	EXTERIOR FINISHES	NTS
DA 7.01	A	BASIX COMMITMENTS	NTS
DA 7.02	A	BASIX COMMITMENTS	NTS
DA 7.03	A	BASIX COMMITMENTS	NTS
DA 7.04	A	BASIX COMMITMENTS	NTS
DA 7.05	A	BASIX COMMITMENTS	NTS

CONSULTANTS

ARCHITECT	<b>MARCHESE PARTNERS</b> LEVEL 1, 53 WALKER STREET, NORTH SYDNEY 2060 9922 4375 CONTACT: MURRAY STEWART
PROJECT MANAGER	<b>LANDMARK GROUP</b> SUITE 2201, LEVEL 22, 101 GRAFTON STREET, BONDI JUNCTION 2022 8095 6322 CONTACT: ELIE TRASSIEH
TOWN PLANNER	<b>PLANNING INGENUITY</b> SUITE 1, 16-22 WILLOCK AVE, PO BOX 715, MIRANDA, NSW 1490 <b>9531 2553</b> CONTACT: BENJAMIN BLACK
TRAFFIC	<b>RAY DOWSETT TRAFFIC</b> 0407 221 951 CONTACT: RAY DOWSETT
STORMWATER	<b>SGC CONSULTANTS</b> SUITE 113, LEVEL 1, BUILDING A, 20 LEXINGTON DRIVE, BELLA VISTA NSW 2153 8883 4239 CONTACT: SAM HADDAD
LANDSCAPE	<b>GREEN PLAN</b> GPO BOX 769, MASCOT NSW 2020 0407 061 386 CONTACT: HAYDEN GREEN
BASIX + WASTE MANAGEMENT	<b>BASIX SERVICES</b> PO BOX 595, BALLINA 2478 8006 7784 CONTACT: DUNCAN HOPE
ACCESSIBILITY	<b>ACCESSIBLE BUILDING SOLUTIONS</b> 124 UPPER WASHINGTON DRIVE, BONNET BAY 2226 9528 0276 CONTACT: FARAH MADON

DEVELOPMENT DATA

LEVEL	UNIT MIX				AREA (m²)			SEPP65		
	ONE BED	TWO BED	THREE BED	SUB TOTAL	NSA	GFA	GBA	CROSS VENT.	SOLAR ACCESS (2h)	SOLAR ACCESS (3h)
G	4	5	1	10	697	735.0	1216	6	7	3
1	3	6	1	10	703	741.5	1070	6	7	7
2	3	6	1	10	703	741.5	1070	6	7	7
3	3	6	1	10	703	741.5	1070	6	8	7
4	2	5	1	8	558	592.5	1043	5	8	8
TOTAL	15	28	5	48	3364	3552	5469	29	37	32
	31%	58%	10%					60.4%	77.1%	66.7%

CARPARKING (REQUIRED) (PROPOSED)

1B (0.6 / UNIT)	8.4	
2B (0.9 / UNIT)	26.1	
3B (1.4 / UNIT)	10	59
VISITORS (0.2 / UNIT)	9.6	10
TOTAL	51.1	69
ACCESSIBLE CARPARKS (0.2 / UNIT)	9.6	10
BICYCLE RACKS (1/3 UNIT + 1/12 VISITOR)	17	20
MOTORBIKES (1/15 UNIT)	3.2	4
STORAGE CAGES	48	73
CAR WASH BAYS (1/20 CAR)	2.4	3

TOTAL SITE AREA CALCULATIONS

TOTAL SITE AREA:	2090.30m²
FSR CONTROL:	
LOT 1	1.7 : 1
TOTAL ALLOWABLE GFA:	3553.50m²

	AREA (m²)			COMMON OPEN		DEEP SOIL		LANDSCAPE	
	SITE	GFA	FSR (X:1)	m²	%	m²	%	m²	%
REQUIRED	2,090.3	3553.5	1.7	61	2.9	313	15	627	30
TOTAL	2,090.3	29	1.7	470	22.5	483	23.1%	799	38.2%

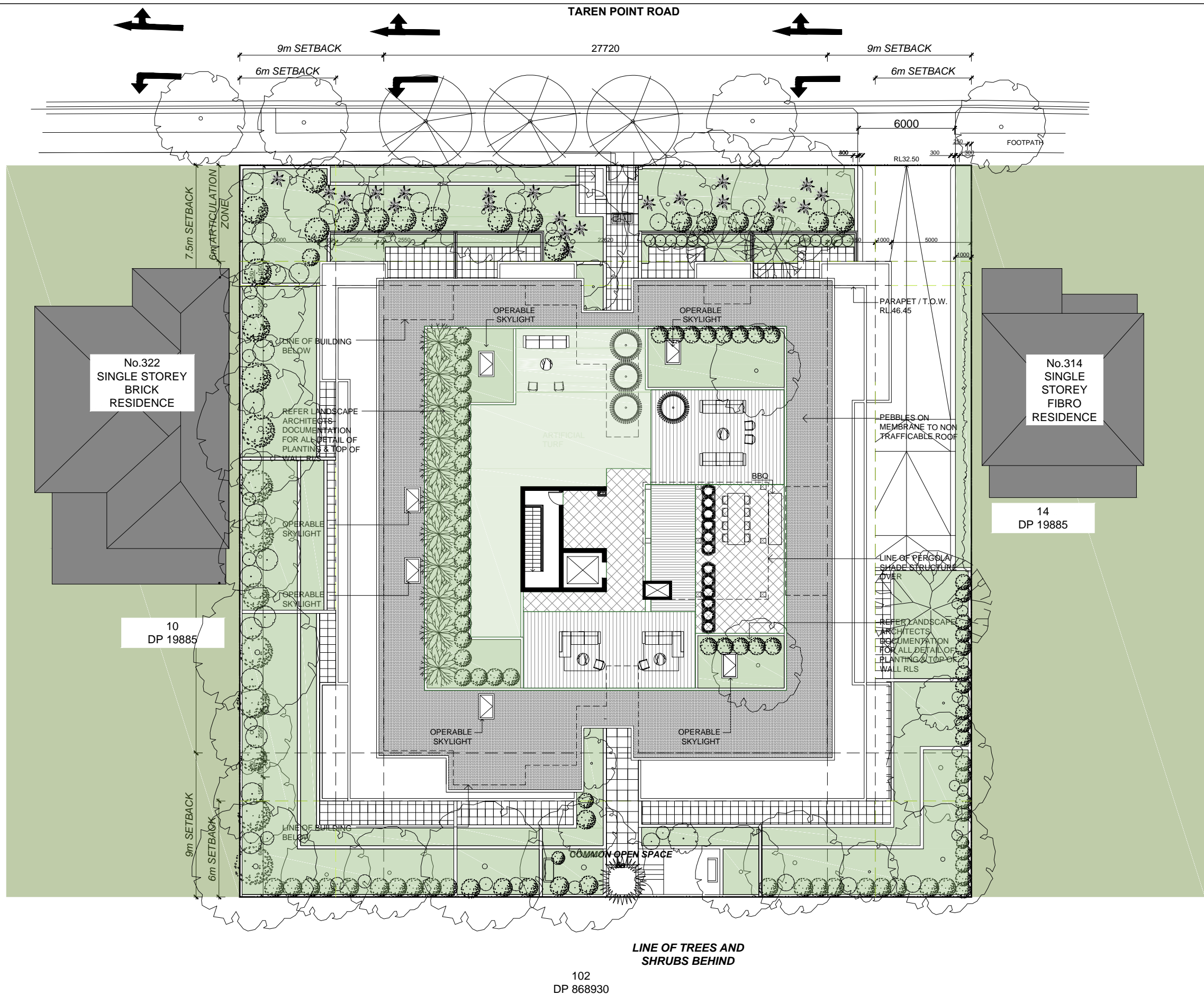
SITE LOCATION NTS



3D MODEL VIEW NTS







102  
DP 868930

IMPORTANT NOTES:  
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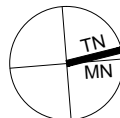
REVISION	DATE	DESCRIPTION	BY
A	2015.12.11	DA SUBMISSION	SC
B	2016.04.21	ISSUED FOR CONSULTANT COORDINATION	HS
C	2016.04.22	DA RE-SUBMISSION	SC

PRELIMINARY

Not for Construction (Sydney East Region) Business Paper - (15 June 2016) - (2016SYE008)

**marchesepartners**

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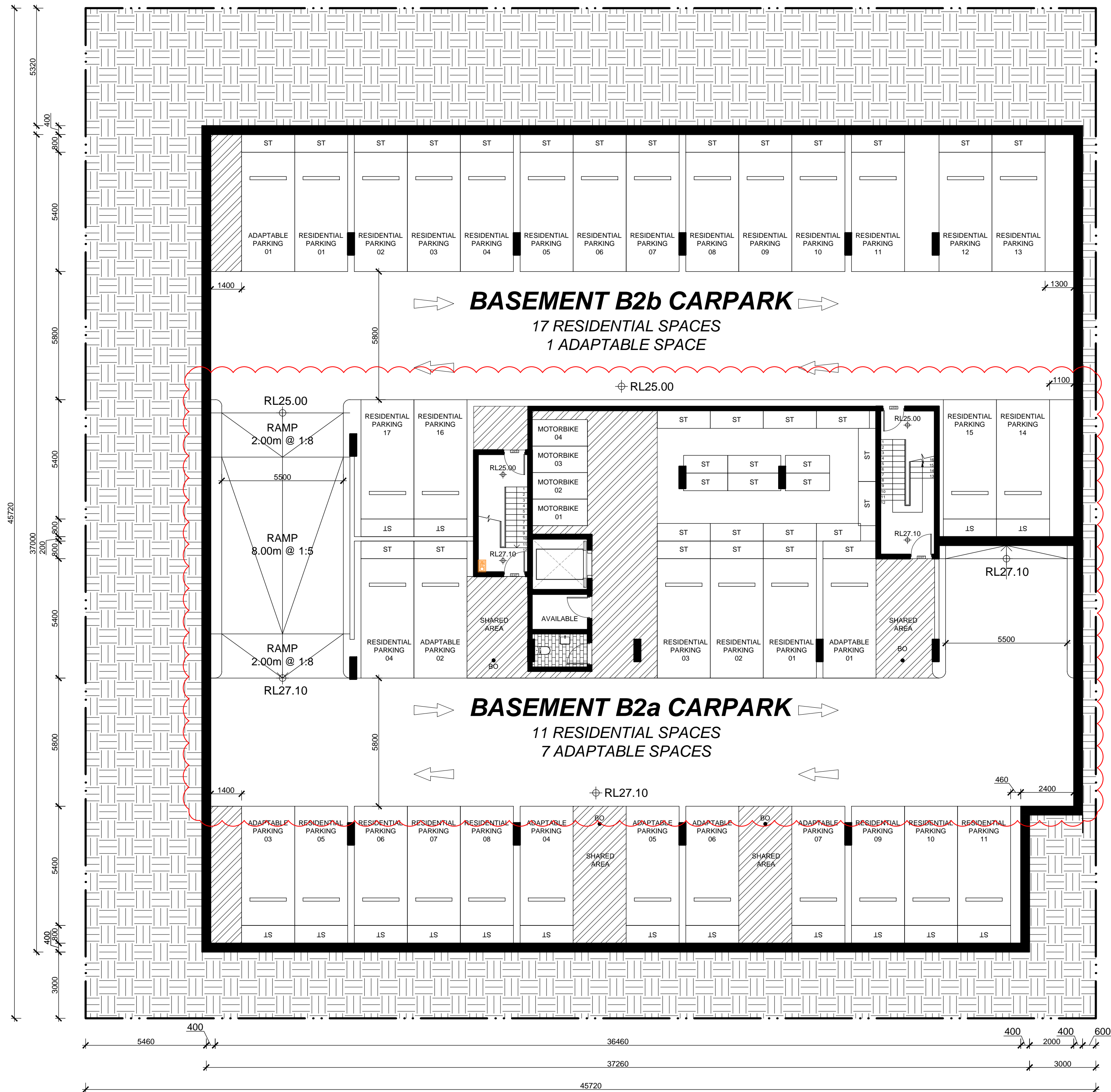


CLIENT  
**LANDMARK GROUP**  
SUITE 2201, LEVEL 22, TOWER TWO  
WESTFIELD, BONDI JUNCTION

PROJECT  
**316-320 TAREN POINT RD, CARINGBAH**

DRAWING TITLE  
**SITE PLAN**

SCALE	DATE	DRAWN	CHECKED
1:125@A1 1:250@A3	11/12/2015	SC	MS
JOB	DRAWING	25	REVISION
15069	DA 0.04		C



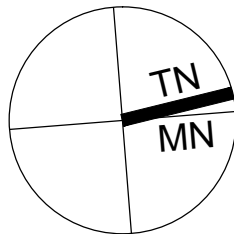
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**PRELIMINARY**  
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION	BY
A	2015.12.11	DA SUBMISSION	SC
B	xxxx.xx.xx	PRELIMINARY FOR REVIEW	SF
C	2016.04.11	ISSUED FOR CLIENT INFORMATION	MS
D	2016.04.13	ISSUED FOR CLIENT INFORMATION	MS
E	2016.04.21	ISSUED FOR CONSULTANT COORDINATION	MS
F	2016.04.22	DA RE-SUBMISSION	MS
G	2016.05.15	ISSUED FOR CONSULTANT COORDINATION	MS
H	2016.05.17	AMENDED RLs & RELOCATED BIKE RACKS, MS REVISED FIRE STAIRS	MS

**marchesepartners**

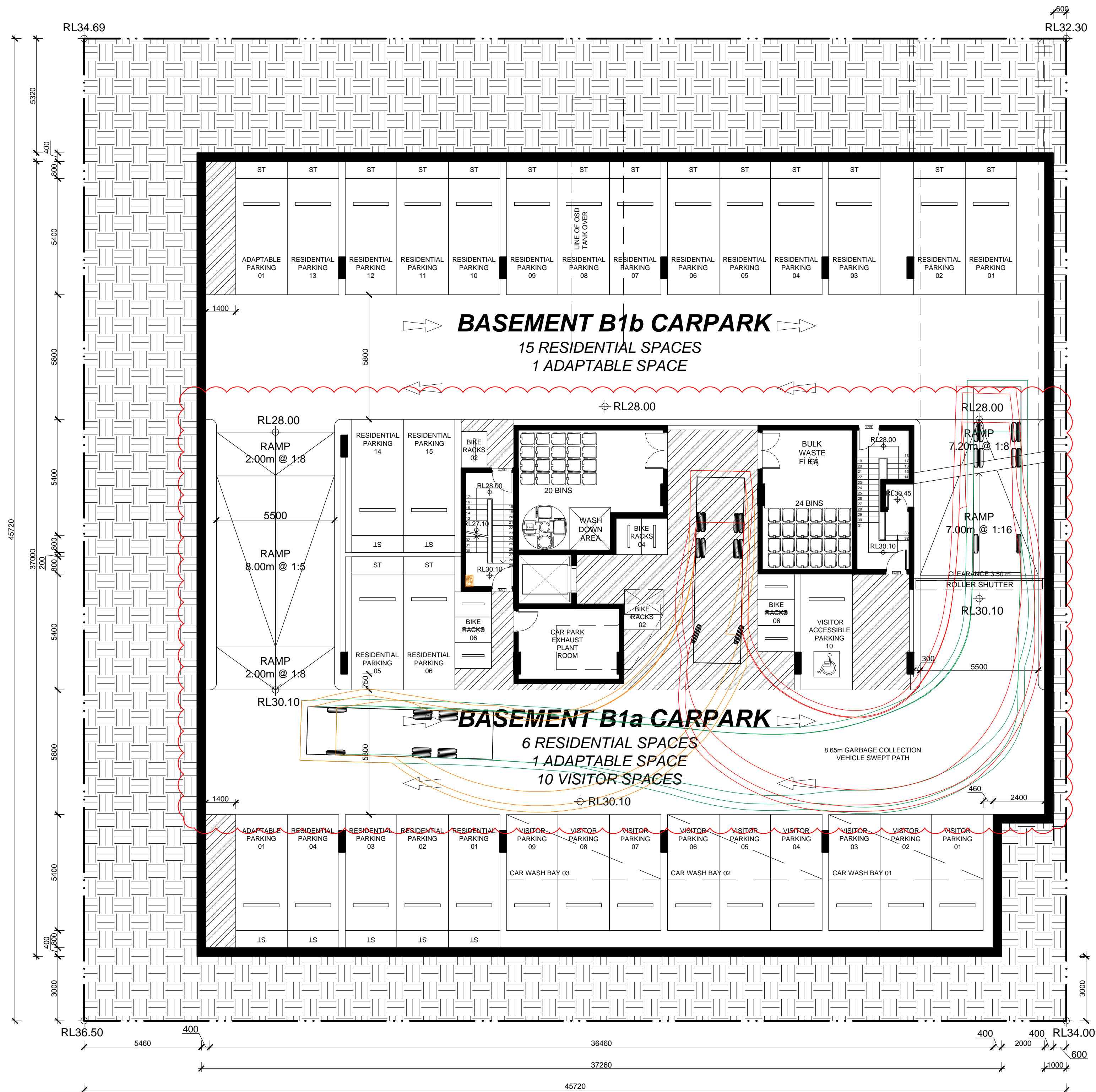
Marchese Partners International Pty Ltd  
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CLIENT <b>LANDMARK GROUP SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION</b>
PROJECT <b>316-320 TAREN POINT RD, CARINGBAH</b>

DRAWING TITLE			
BASEMENT 2			
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JOB 15069	DRAWING DA 1.01	REVISION H	





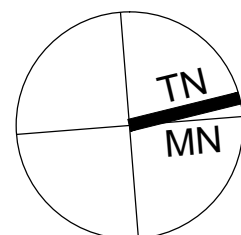
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**PRELIMINARY**  
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION	BY
A	2015.12.11	DA SUBMISSION	SC
B	xxxx.xx.xx	PRELIMINARY FOR REVIEW	SF
C	2016.04.11	ISSUED FOR CLIENT INFORMATION	MS
D	2016.04.13	ISSUED FOR CLIENT INFORMATION	MS
E	2016.04.21	ISSUED FOR CONSULTANT COORDINATION	MS
F	2016.04.22	DA RE-SUBMISSION	MS
G	2016.05.15	ISSUED FOR CONSULTANT COORDINATION	MS
H	2016.05.17	AMENDED BASEMENT RLs, INCLUDED SWEEP PATHS & RELOCATED BIKE RACKS, REVISED GARBAGE ROOMS, REVISED FIRE STAIRS	MS

**marchesepartners**

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SUITE 2201, LEVEL 22, TOWER TWO  
WESTFIELD, BONDI JUNCTION

PROJECT  
**316-320 TAREN POINT RD, CARINGBAH**

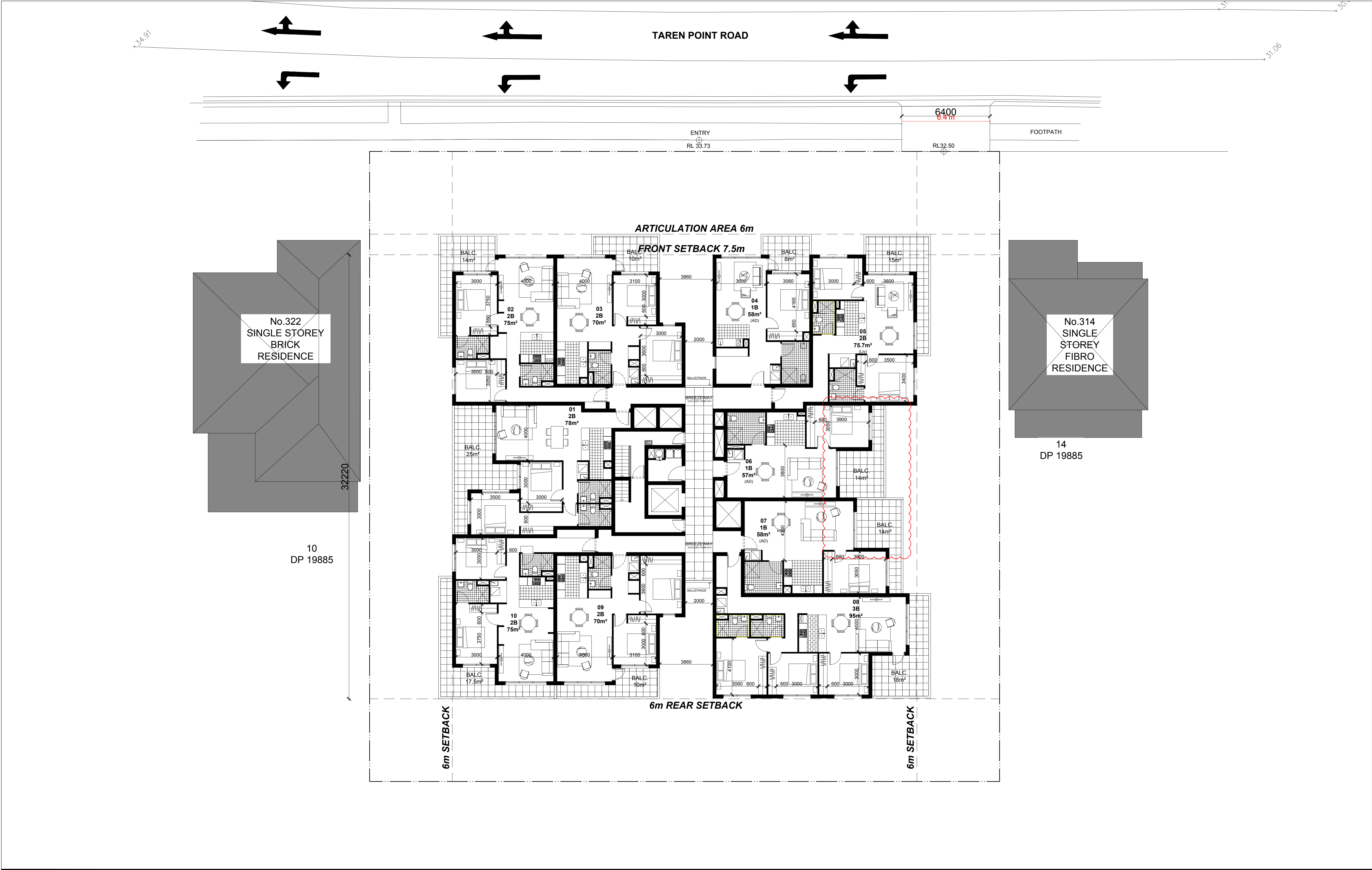
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**BASEMENT 1**

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JOB 15069	DRAWING DA 1.02	REVISION <b>H</b>	

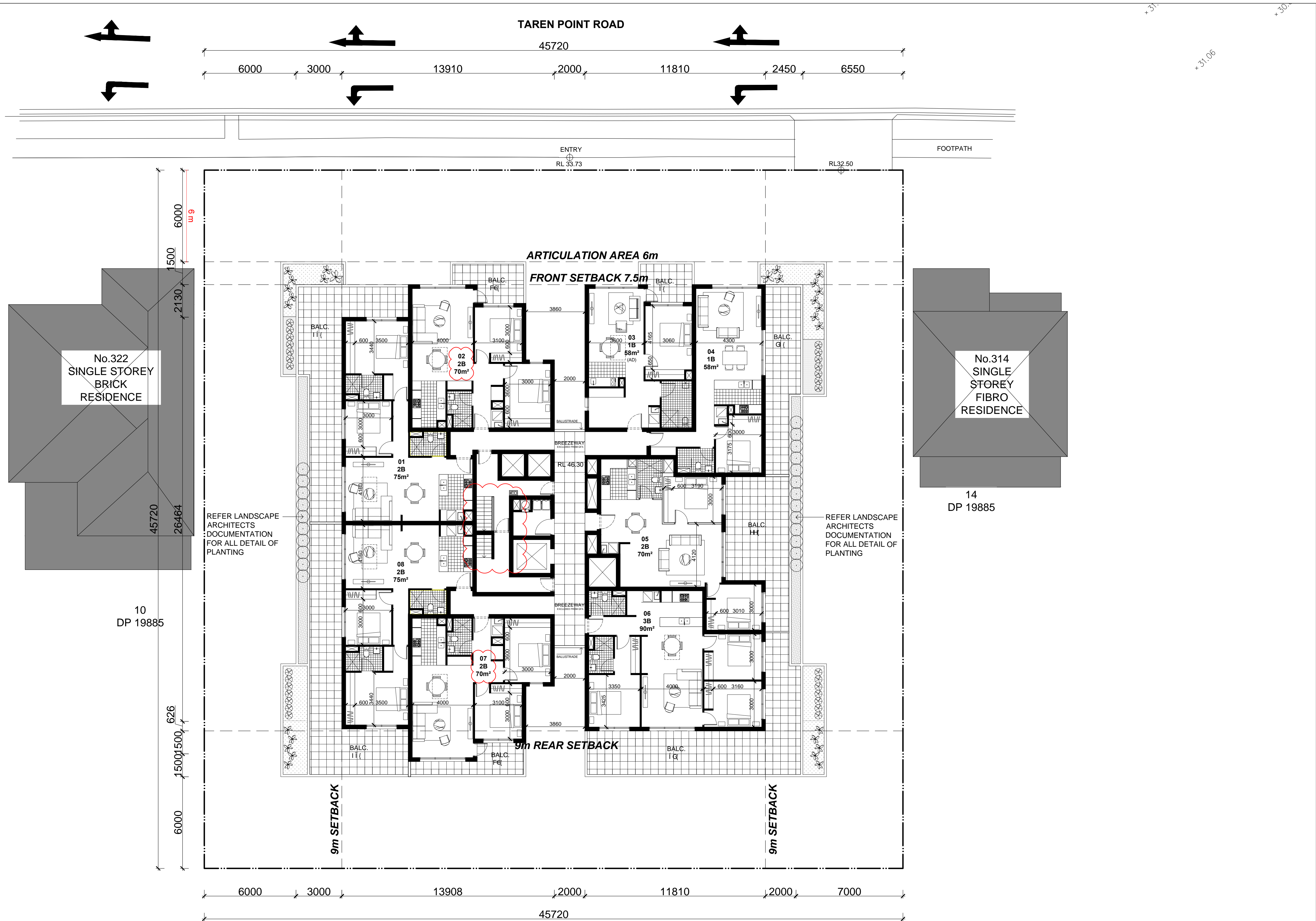








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	A	2015.12.11	DA SUBMISSION	SC						
	B	2016.04.07	ISSUED FOR CLIENT INFORMATION	SC						
	C	2016.04.11	ISSUED FOR CLIENT INFORMATION	MS						
	D	2016.04.13	ISSUED FOR CLIENT INFORMATION	MS						
	E	2016.04.21	ISSUED FOR CONSULTANT COORDINATION	MS						
	G	2016.04.22	DA RE-SUBMISSION	MS						
	H	2016.05.17	ROOM DIMENSIONS ADDED, REVISED FIRE LP STAIRS	LP						
	I	2016.05.23	AMENDED BALCONY AND GLAZING WIDTH	MS						
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		SCALE 1:125@A1 1:250@A3	DATE 11/12/2015	DRAWN HS	CHECKED MS					
		JOB 15069	DRAWING DA 1.04		REVISION I					



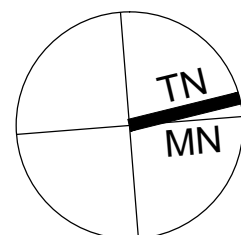
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REVISION	DATE	DESCRIPTION	BY
A	2015.12.04	DA SUBMISSION	SC
B	2016.04.07	ISSUED FOR CLIENT INFORMATION	SC
C	2016.04.11	ISSUED FOR CLIENT INFORMATION	MS
D	2016.04.13	ISSUED FOR CLIENT INFORMATION	MS
E	2016.04.20	ISSUED FOR CONSULTANT COORDINATION	MS
F	2016.04.21	ISSUED FOR CONSULTANT COORDINATION	MS
G	2016.04.22	ISSUED FOR CONSULTANT COORDINATION	MS
H	2016.04.22	DA RE-SUBMISSION	MS
I	2016.05.17	ROOM DIMENSIONS ADDED, CORRECTED UNIT AREAS, REVISED FIRE STAIRS	LP

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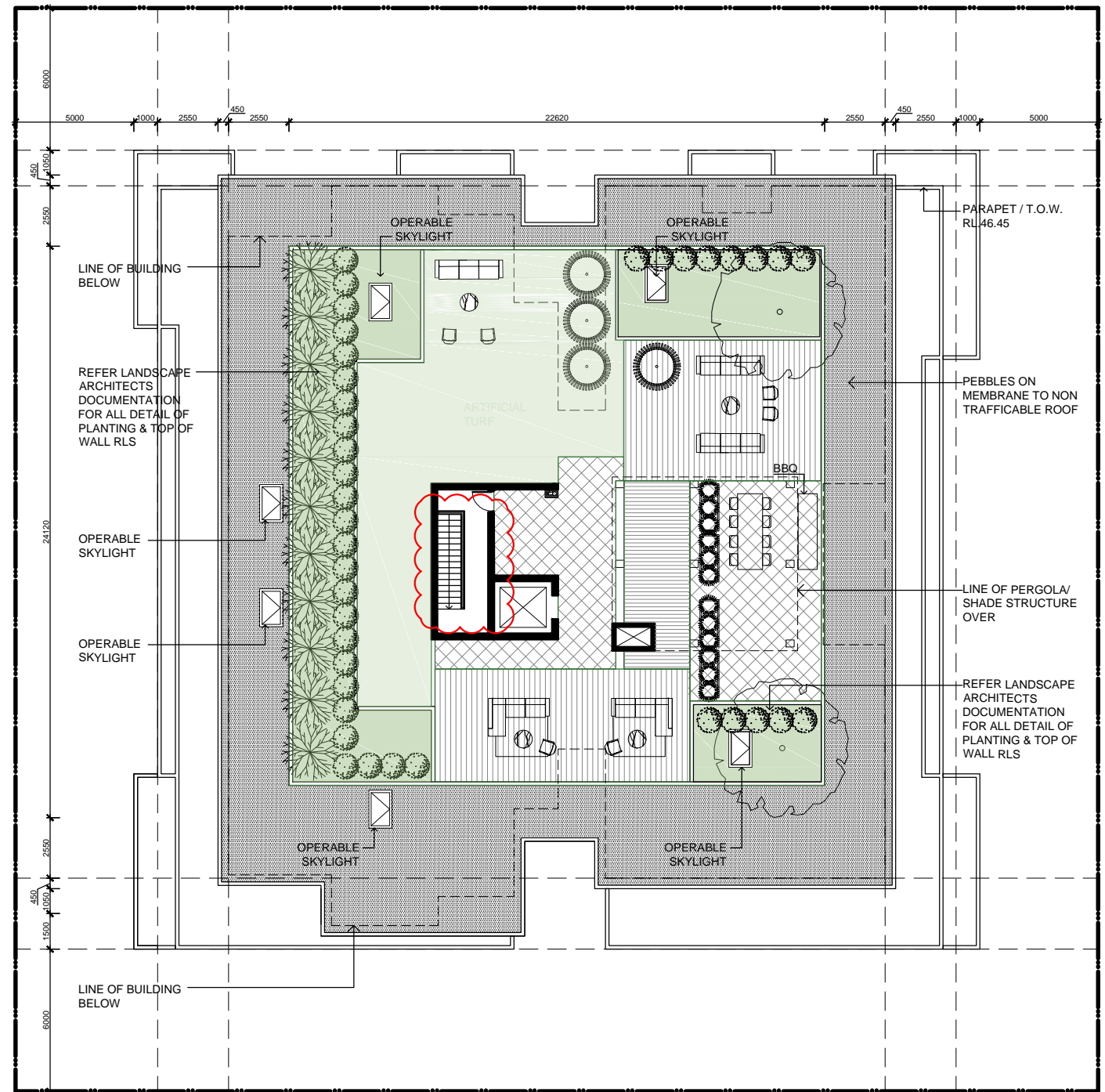
CLIENT  
**LANDMARK GROUP**  
SUITE 2201, LEVEL 22, TOWER TWO  
WESTFIELD, BONDI JUNCTION

PROJECT  
**316-320 TAREN POINT RD, CARINGBAH**

DRAWING TITLE  
**LEVEL 4 FLOOR PLAN**

SCALE	DATE	DRAWN	CHECKED
1:125@A1 1:250@A3	04/12/2015	HS	MS
JOB 15069	DRAWING DA 1.05		REVISION 1





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REVISION	DATE	DESCRIPTION	BY
A	2015.12.11	DA SUBMISSION	SC
B	2016.04.20	ISSUED FOR CONSULTANT COORDINATION	MS
C	2016.04.21	ISSUED FOR CONSULTANT COORDINATION	MS
D	2016.04.22	ISSUED FOR CONSULTANT COORDINATION	MS
E	2016.04.22	DA RE-SUBMISSION	MS
F	2016.05.17	REVISED FIRE STAIRS	LP

**PRELIMINARY**

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North (Sydney East Region) Business Paper - (15 June 2016) - (2016SYE008)

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CLIENT  
**LANDMARK GROUP**  
**SUITE 2201, LEVEL 22, TOWER TWO**  
**WESTFIELD, BONDI JUNCTION**

PROJECT  
**316-320 TAREN POINT RD, CARINGBAH**

DRAWING TITLE	
<b>ROOF PLAN</b>	

SCALE	DATE	DRAWN	CHECKED
1:125@A1 1:250@A3	11/12/2015	HS	MS

JOB	DRAWING	REVISION
15069	DA 1.06	F



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	A	2015.12.11	DA SUBMISSION	SC
	B	2016.04.21	ISSUED CONSULTANT COORDINATION	JR
	C	2016.04.22	DA RE-SUBMISSION	JR
<b>PRELIMINARY</b> North Sydney City Council (Sydney East Region) Business Paper - (15 June 2016) - (2016SYE008)	D	2016.05.17	INCLUDED BUILDING HEIGHT DIMENSION FROM EXISTING RL	JR
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	CLIENT <b>LANDMARK GROUP</b> SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION			
	PROJECT <b>316-320 TAREN POINT RD, CARINGBAH</b>			
DRAWING TITLE <b>WEST ELEVATION</b>		SCALE 1:100@A1 1:200@A3	DATE 11/12/2015	DRAWN JR
JOB 15069		DRAWING DA 2.01	32	CHECKED MS
				REVISION D



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Not for Construction

REVISION	DATE	DESCRIPTION	BY
A	2015.12.11	DA SUBMISSION	SC
B	2016.04.21	ISSUED CONSULTANT COORDINATION	JR
C	2016.04.22	DA RE-SUBMISSION	JR

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0 1 2 3 4 5

CLIENT		DRAWING TITLE			
LANDMARK GROUP SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION		SOUTH ELEVATION			
PROJECT		SCALE	DATE	DRAWN	CHECKED
316-320 TAREN POINT RD, CARINGBAH		1:100@A1 1:200@A3	11/12/2015	JR	MS
JOB	DRAWING				REVISION
15069	DA 2.02			33	C

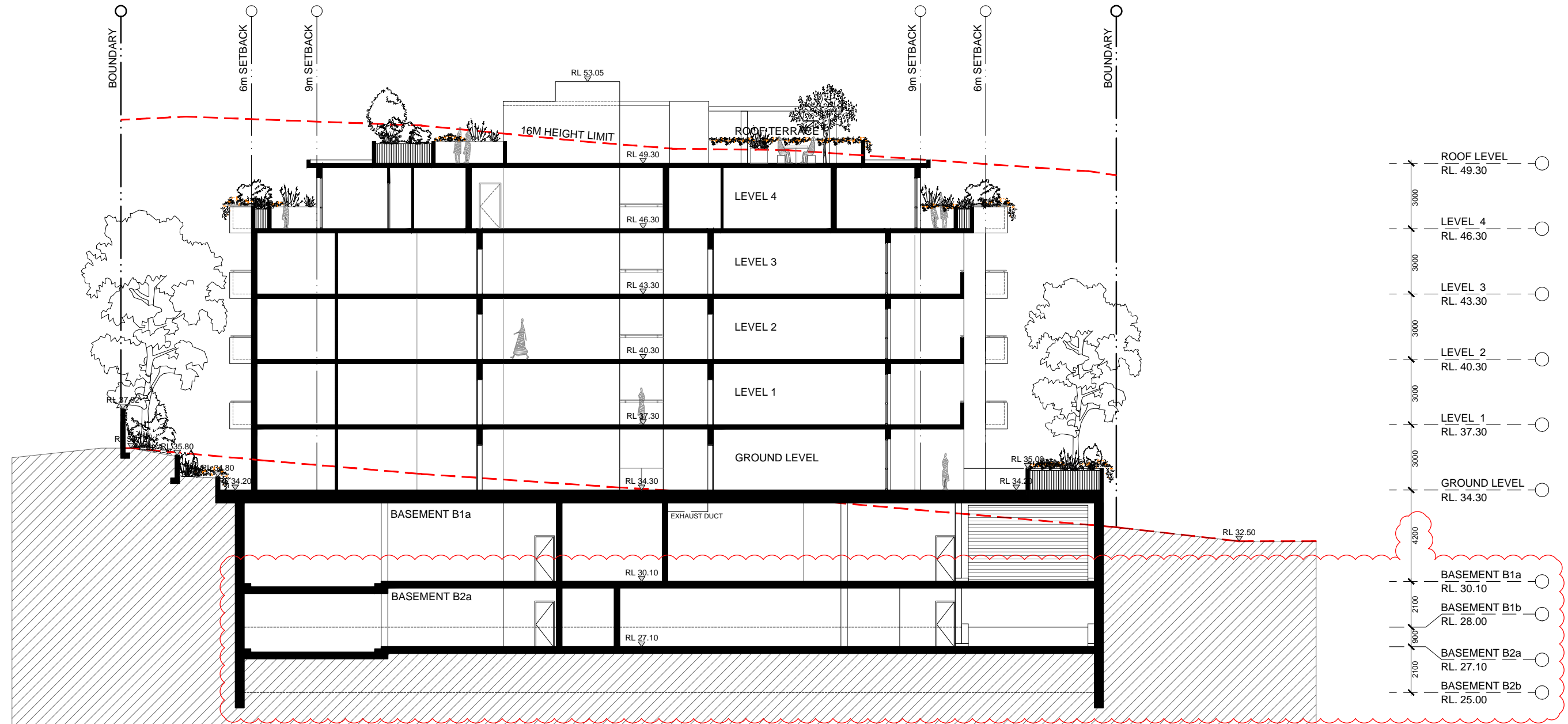


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	A	2015.12.11	DA SUBMISSION	SC
	B	2016.04.21	ISSUED CONSULTANT COORDINATION	JR
	C	2016.04.22	DA RE-SUBMISSION	JR
NCRP (Sydney East Region) Business Paper - (15 June 2016) - (2016SYE008)				
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<div>012345</div>				
CLIENT				
LANDMARK GROUP SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION				
PROJECT				
316-320 TAREN POINT RD, CARINGBAH				
DRAWING TITLE				
EAST ELEVATION				
SCALE		DATE	DRAWN	CHECKED
1:100@A1 1:200@A3		11/12/2015	JR	MS
JOB		DRAWING		REVISION
15069		DA 2.03 34		C



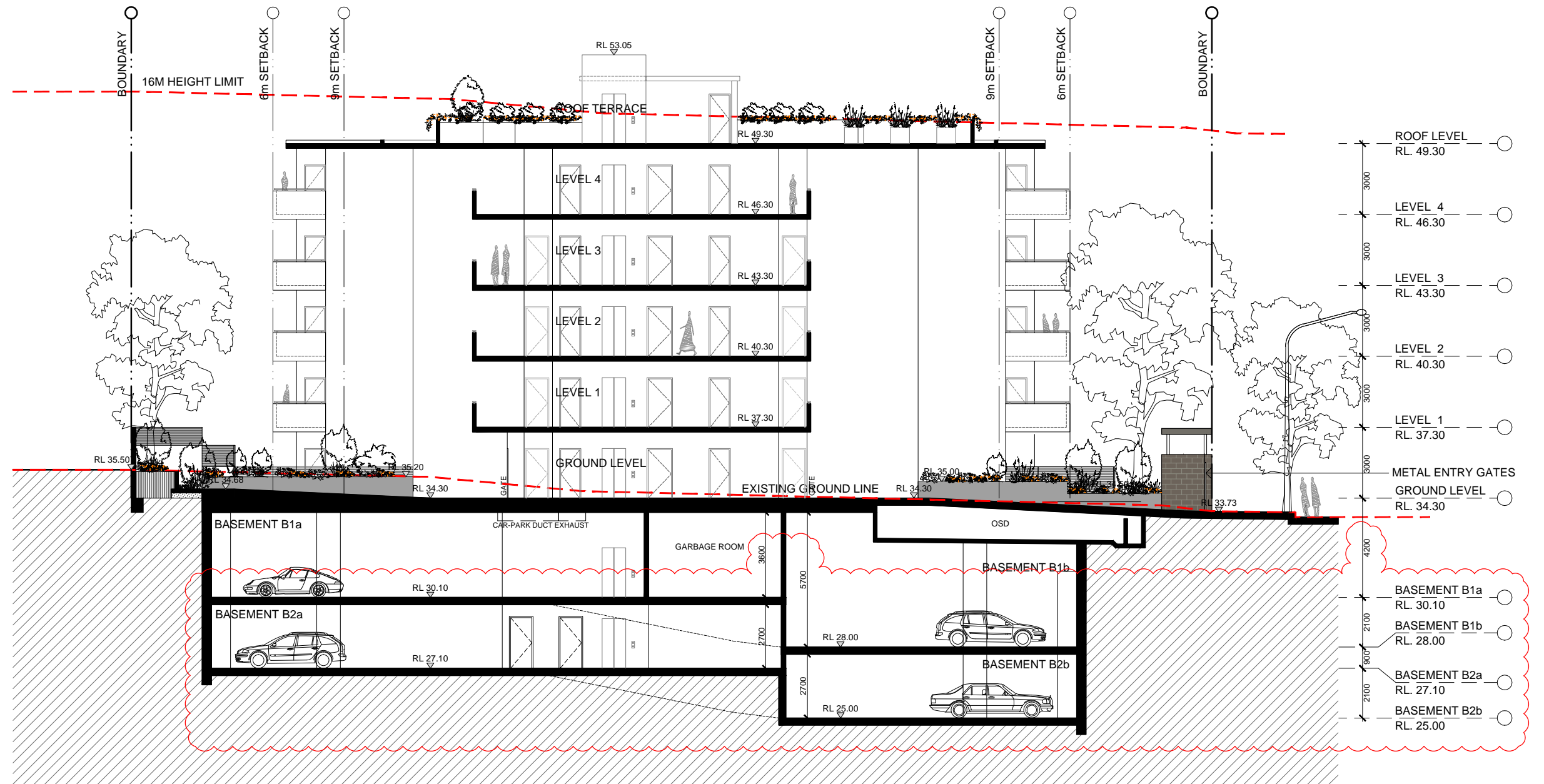


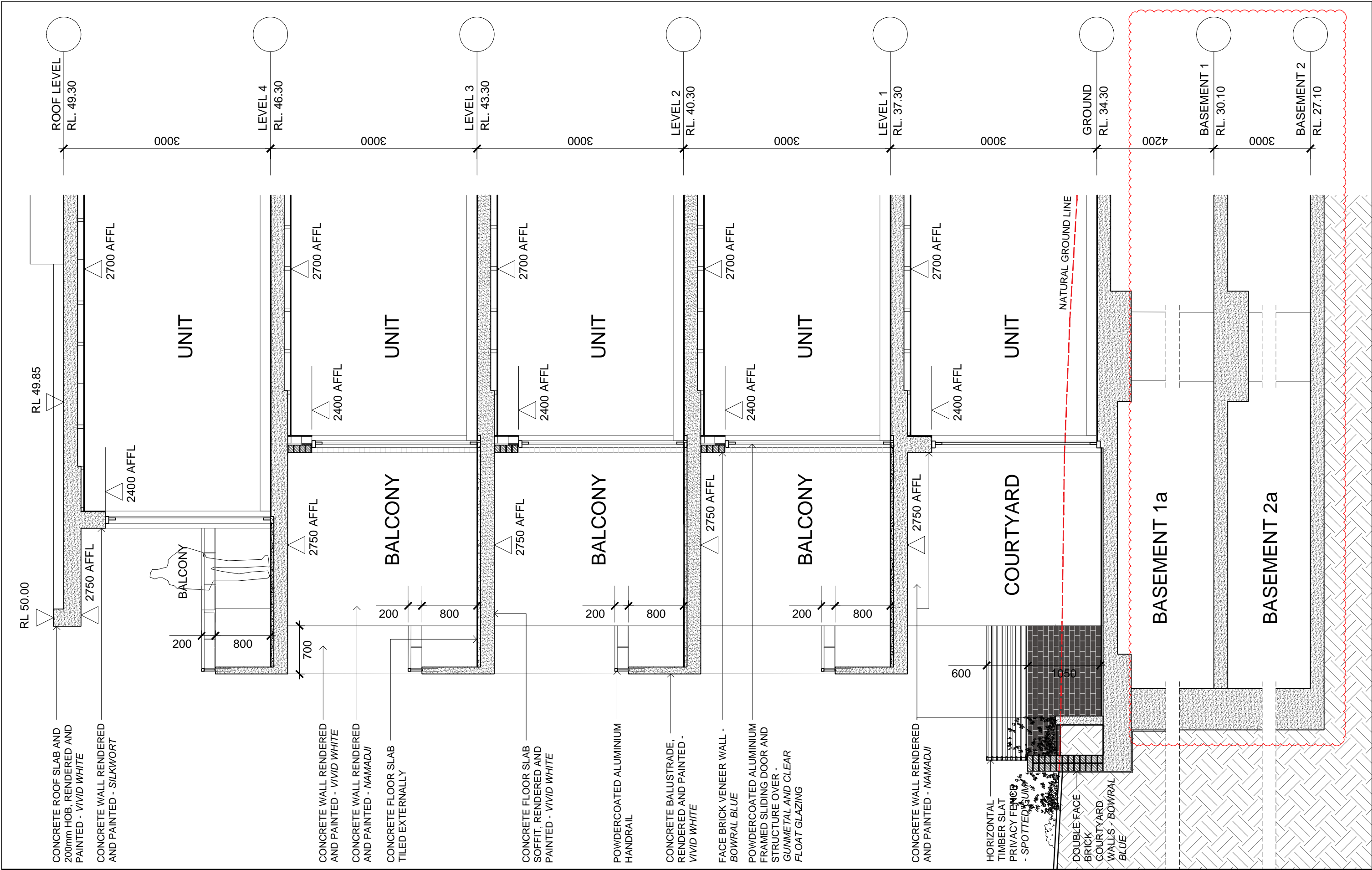
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	A	2015.12.11	DA SUBMISSION	SC
	B	2016.04.21	ISSUED CONSULTANT COORDINATION	JR
	C	2016.04.22	DA RE-SUBMISSION	JR
	D	2016.05.15	ISSUED FOR CONSULTANT COORDINATION	JR
<b>PRELIMINARY</b> NOT FOR CONSTRUCTION	E	2016.05.17	AMENDED BASEMENT RLs	MS
<div><div><div>marchesepartners</div><div>Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com.au www.marchesepartners.com.au Sydney · Brisbane · Canberra · Melbourne · Adelaide · Perth Kuala Lumpur · Auckland ABN 20 098 552 151</div></div><div><div>0</div><div>1</div><div>2</div><div>3</div><div>4</div><div>5</div></div></div>				
CLIENT <b>LANDMARK GROUP</b> SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION			DRAWING TITLE <b>NORTH ELEVATION</b>	
PROJECT <b>316-320 TAREN POINT RD, CARINGBAH</b>		SCALE 1:100@A1 1:200@A3	DATE 11/12/2015	DRAWN JR
JOB 15069		DRAWING DA 2.04		CHECKED MS
				REVISION E



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	A	2015.12.11	DA SUBMISSION	SC
	B	2016.04.21	ISSUED FOR CONSULTANT COORDINATION	HS
	C	2016.04.22	ISSUED FOR CONSULTANT COORDINATION	MS
	D	2016.04.22	DA RE-SUBMISSION	MS
	E	2016.05.17	AMENDED BASEMENT RLs	LP
<b>PRELIMINARY</b> North Sydney East Region) Business Paper - (15 June 2016) - (2016SYE008)				
<b>marchesepartners</b> Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com.au www.marchesepartners.com.au Sydney • Brisbane • Canberra • Melbourne • Adelaide • Perth Kuala Lumpur • Auckland ABN 20 098 552 151				
CLIENT <b>LANDMARK GROUP</b> SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION				
DRAWING TITLE <b>SECTION A</b>				
PROJECT 316-320 TAREN POINT RD, CARINGBAH		SCALE 1:100@A1 1:200@A3	DATE 11/12/2015	DRAWN HS
JOB 15069		DRAWING DA 3.01	36	CHECKED MS
				REVISION E







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REVISION	DATE	DESCRIPTION	BY
A	2015.12.04	DA SUBMISSION	LP
B	2016.04.22	DA RE-SUBMISSION	LP
C	2016.05.17	AMENDED BASEMENT RLs	JR

**PRELIMINARY**

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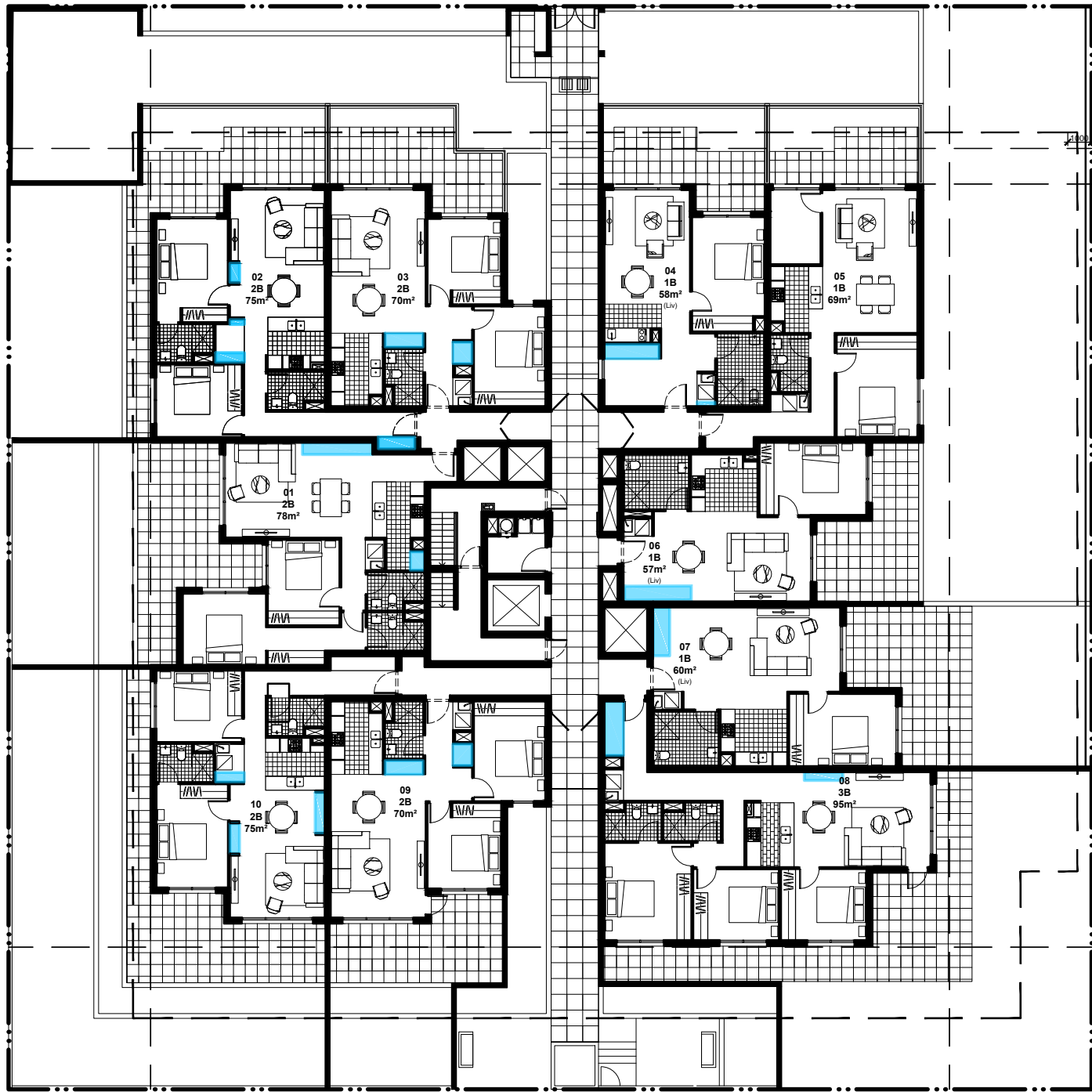
CLIENT  
**LANDMARK GROUP**  
SUITE 2201, LEVEL 22, TOWER TWO  
WESTFIELD, BONDI JUNCTION

PROJECT  
**316-320 TAREN POINT RD, CARINGBAH**

DRAWING TITLE  
**DETAILED FACADE SECTION**

SCALE 1:25 @ A1 1:50 @ A3	DATE 04/12/2015	DRAWN LP	CHECKED MS
JOB 15069	DRAWING DA 3.03	38	REVISION C

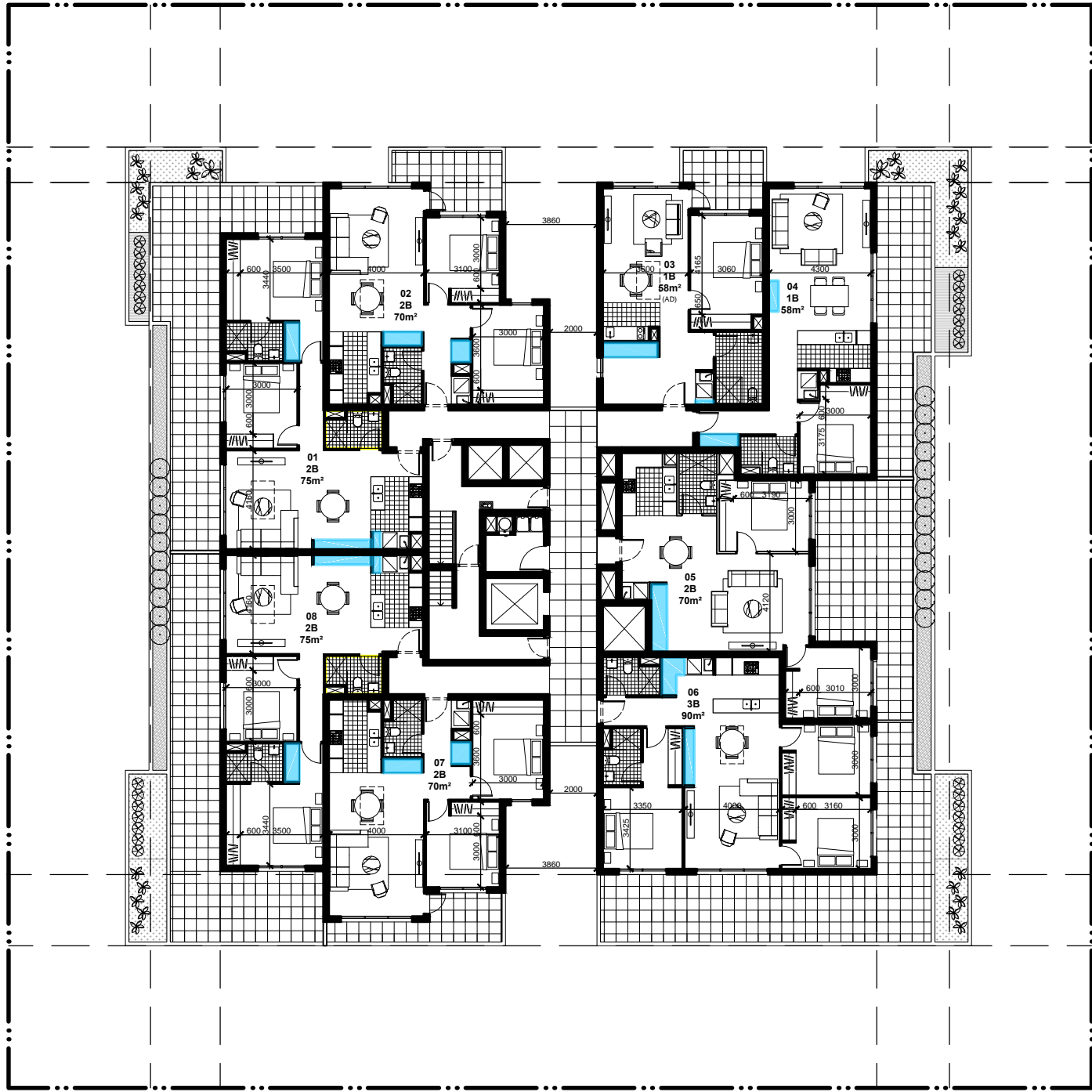




GROUND FLOOR PLAN



LEVEL 01-03



LEVEL 04

LEVEL	UNIT	TYPE	STORAGE		
			INTERNAL m³	EXTERNAL m³	50% requ.
GROUND	G.01	2 BED	4.6	4.6	4 m³
	G.02	2 BED	4	4.6	4 m³
	G.03	2 BED	4	4.6	4 m³
	G.04	1 BED	3.6	4.6	3 m³
	G.05	1 BED	4.15	4.6	3 m³
	G.06	1 BED	4	4.6	3 m³
	G.07	1 BED	3.4	4.6	3 m³
	G.08	3 BED	5.76	9.2	5 m³
	G.09	2 BED	4	4.6	4 m³
	G.10	2 BED	4	4.6	4 m³
LEVEL 1	1.01	2 BED	4.6	4.6	4 m³
	1.02	2 BED	4	4.6	4 m³
	1.03	2 BED	4	4.6	4 m³
	1.04	1 BED	3.6	4.6	3 m³
	1.05	2 BED	4.32	4.6	4 m³
	1.06	1 BED	4	4.6	3 m³
	1.07	1 BED	3.4	4.6	3 m³
	1.08	3 BED	5.5	9.2	5 m³
	1.09	2 BED	4	4.6	4 m³
	1.10	2 BED	4	4.6	4 m³
LEVEL 2	2.01	2 BED	4.6	4.6	4 m³
	2.02	2 BED	4	4.6	4 m³
	2.03	2 BED	4	4.6	4 m³
	2.04	1 BED	3.6	4.6	3 m³
	2.05	2 BED	4.32	4.6	4 m³
	2.06	1 BED	4	4.6	3 m³
	2.07	1 BED	3.4	4.6	3 m³
	2.08	3 BED	5.5	9.2	5 m³
	2.09	2 BED	4	4.6	4 m³
	2.1	2 BED	4	4.6	4 m³
LEVEL 3	3.01	2 BED	4.6	4.6	4 m³
	3.02	2 BED	4	4.6	4 m³
	3.03	2 BED	4	4.6	4 m³
	3.04	1 BED	3.6	4.6	3 m³
	3.05	2 BED	4.32	4.6	4 m³
	3.06	1 BED	4	4.6	3 m³
	3.07	1 BED	3.4	4.6	3 m³
	3.08	3 BED	5.5	9.2	5 m³
	3.09	2 BED	4	4.6	4 m³
	3.1	2 BED	4	4.6	4 m³
LEVEL 4	4.01	2 BED	5	4.6	4 m³
	4.02	2 BED	6	4.6	4 m³
	4.03	1 BED	4	4.6	3 m³
	4.04	1 BED	3.4	4.6	3 m³
	4.05	2 BED	4.4	4.6	4 m³
	4.06	3 BED	5.23	9.2	5 m³
	4.07	2 BED	4	4.6	4 m³
	4.08	2 BED	5	4.6	4 m³

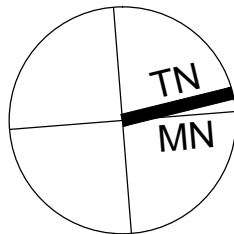
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REVISION	DATE	DESCRIPTION	BY
A	2015.12.11	DA SUBMISSION	SC
B	2016.05.12	DA SUBMISSION	JR

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CLIENT  
LANDMARK GROUP  
SUITE 2201, LEVEL 22, TOWER TWO  
WESTFIELD, BONDI JUNCTION

PROJECT  
316-320 TAREN POINT RD, CARINGBAH

DRAWING TITLE  
STORAGE SCHEDULE

SCALE 1:250@A1 1:500@A3	DATE 11/12/2015	DRAWN HS	CHECKED MS
JOB 15069	DRAWING DA 4.08	REVISION B	

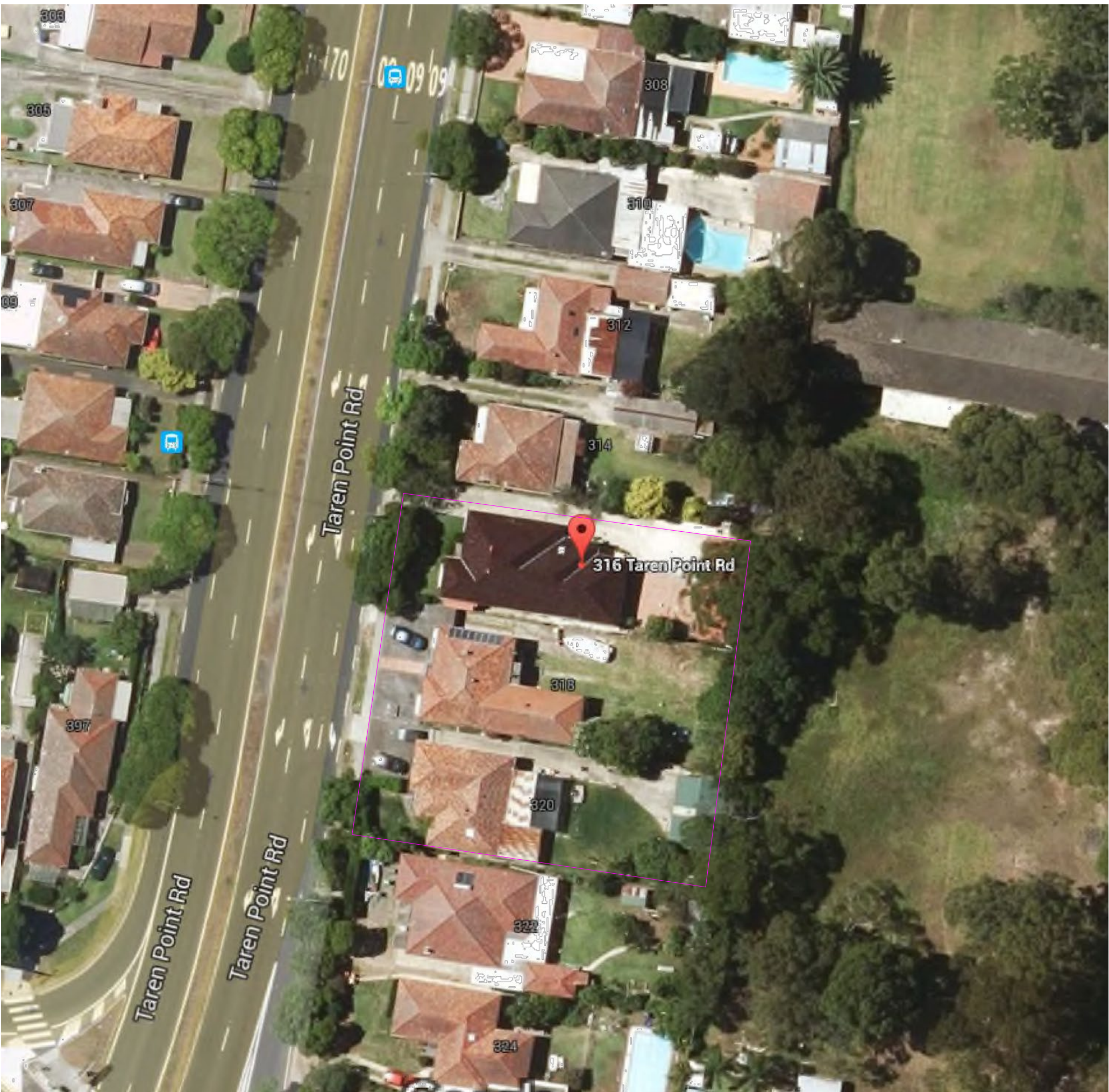


# PROPOSED APARTMENT BUILDING

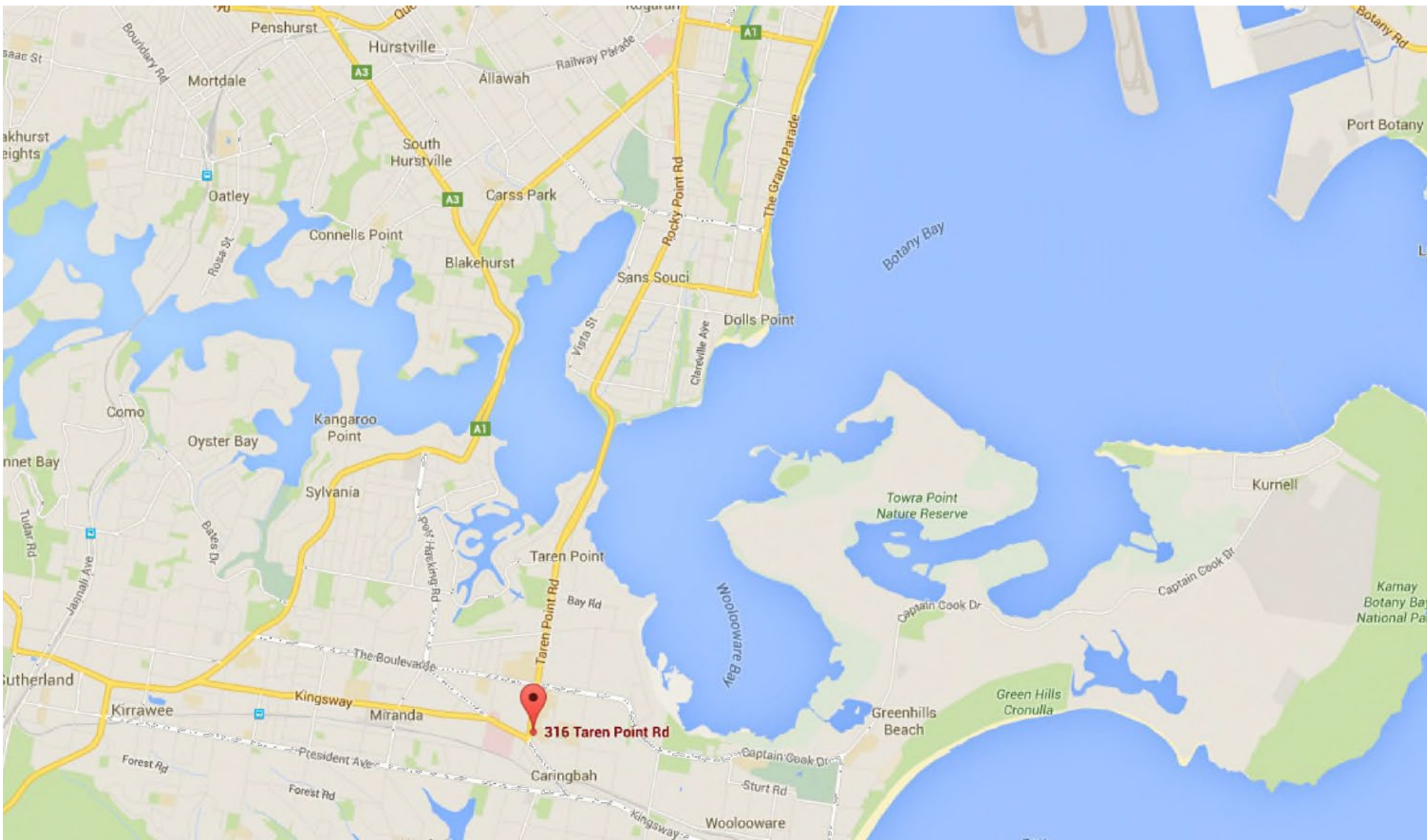
## LANDSCAPE DEVELOPMENT APPLICATION

316-320 TAREN POINT ROAD CARINGBAH

LOT 11 in DP 19885, LOT 1 in DP 660822 & LOT A in DP 358784



1 SITE AERIAL PHOTOGRAPH  
SOURCE GOOGLE MAPS 2014

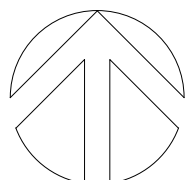


2 SITE LOCALITY MAP  
SOURCE GOOGLE MAPS 2014

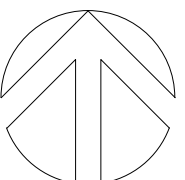
DRAWING	NUMBER	ISSUE	DATE	SCALE
LANDSCAPE COVER	LS	B	24/11/2015	NOT TO SCALE
LANDSCAPE SITE IMAGES	LS-101	A	24/11/2015	NOT APPLICABLE
LANDSCAPE PLAN GROUND	LS-201	D	24/11/2015	1:100 @ A1 & A1:200 @ A3
LANDSCAPE PLAN LEVEL 4	LS-202	A	24/11/2015	1:100 @ A1 & A1:200 @ A3
LANDSCAPE PLAN ROOF	LS-203	C	24/11/2015	1:100 @ A1 & A1:200 @ A3
LANDSCAPE SECTION	LS-301	B	24/11/2015	1:100 @ A1 & A1:200 @ A3
LANDSCAPE SECTION	LS-302	B	24/11/2015	1:100 @ A1 & A1:200 @ A3
LANDSCAPE DETAILS	LS-401	B	24/11/2015	NOT APPLICABLE
LANDSCAPE DETAILS	LS-402	A	24/11/2015	NOT TO SCALE

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  2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
  3. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
  4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS.
  5. THE LEVELS SHOWN ON THIS PLAN HAVE BEEN BASED ON SURVEY BY NORTON SURVEY, DATED AUGUST 2015.

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MAGNETIC NORTH



PROJECT NORTH

REV	DESCRIPTION	DATE
B	FOR DEVELOPMENT APPLICATION	26/04/2016
A	FOR DEVELOPMENT APPLICATION	04/12/2015

greenplan

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ARCHITECT  
**MARCHESE PARTNERS**  
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Tel 02 9922 4375 Contact: Steve Zappia

CLIENT  
**LANDMARK GROUP**  
Suite 2201, Level 22, Westfield Bondi Junction  
Tel 02 8019 7263 Contact: Elie Trassieh

PROJECT AND ADDRESS  
**APARTMENT BUILDING**  
**316-320 TAREN POINT RD**  
**CARINGBAH**

DRAWING TITLE  
**LANDSCAPE COVER**

SCALE	NOT TO SCALE
DESIGN/DRAWN	HG/KS
VERIFIED	CD
DATE DRAWN	24/11/2015
PROJECT NUMBER	15731

DRAWING NUMBER	ISSUE
LS	B



TREE PROTECTION FENCING

TREE 13

Plant 2x *Tristaniopsis laurina* (Watergum)

Delete

TREE PROTECTION FENCING

TREE 17

LEGEND

- BENCHMARK NAIL IN PATH  
RL 33.325 (A.H.D.)
- EXISTING/PROPOSED  
SPOT LEVELS
- MASONRY WALLING  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 1  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 2  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 3  
(REFER ARCHITECT'S DRAWINGS)
- LAWN AREA
- LARGE TREE PLANTING  
(REFER PLANT SCHEDULE)
- MEDIUM TREE PLANTING  
(REFER PLANT SCHEDULE)
- SMALL TREE PLANTING  
(REFER PLANT SCHEDULE)
- DECIDUOUS TREE PLANTING  
(REFER PLANT SCHEDULE)
- SCREEN PLANTING  
(REFER PLANT SCHEDULE)
- GROUND COVER MIX(S) PLANTING  
(REFER PLANT SCHEDULE)

- DRAWING NOTES
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NOTES

Delete *Rytidosperma fulvum* (Wallaby Grass) and *Themeda australis* (Kangaroo Grass) to Groundcover Mix C for Western Boundary listed in the planting schedule and replace with *Lomandra multiflora* (Matt Rush), *Dianella caerulea* (Flax lily) and *Hardenbergia violacea* (Native Sarsparilla).

Replace *Lagerstroemia indica* (Crepe Myrtle) with two *Backhousia myrtifolia* (Grey Myrtle)

Replace *Banksia integrifolia* (Coastal Banksia) with two *Backhousia myrtifolia* (Grey Myrtle)

*Syzgium* or *Acmena* spp. to planting bed adjacent to basement driveway

Cluster trees along southern boundary to improve solar access

Splay entry to development from 113 Willarong Road and provide communal seating to cleared appears either side of stair access

Maintain natural ground levels in areas shown in blue to protect neighbouring trees along the boundary of 113 Willarong Road, Caringbah

Replace two CA with two *Banksia serrata* (Old Man Banksia)

Delete EPU and replace with two *Banksia serrata* (Old Man Banksia)

Delete BI and replace with one *Banksia serrata* (Old Man Banksia)

Maintain natural ground levels in areas shown in blue to protect neighbouring trees along the boundary of 113 Willarong Road, Caringbah

Replace two CA with one *Banksia serrata* (Old Man Banksia)

1 LANDSCAPE PLAN - GROUND  
SCALE 1:100 @ A1

5. TREE 3 (Cluster)

TREE 1

REV	DESCRIPTION	DATE
D	FOR DEVELOPMENT APPLICATION	26/04/2016
C	FOR COORDINATION	12/04/2016
B	FOR DEVELOPMENT APPLICATION	04/12/2015
A	FOR INFORMATION	29/11/2015

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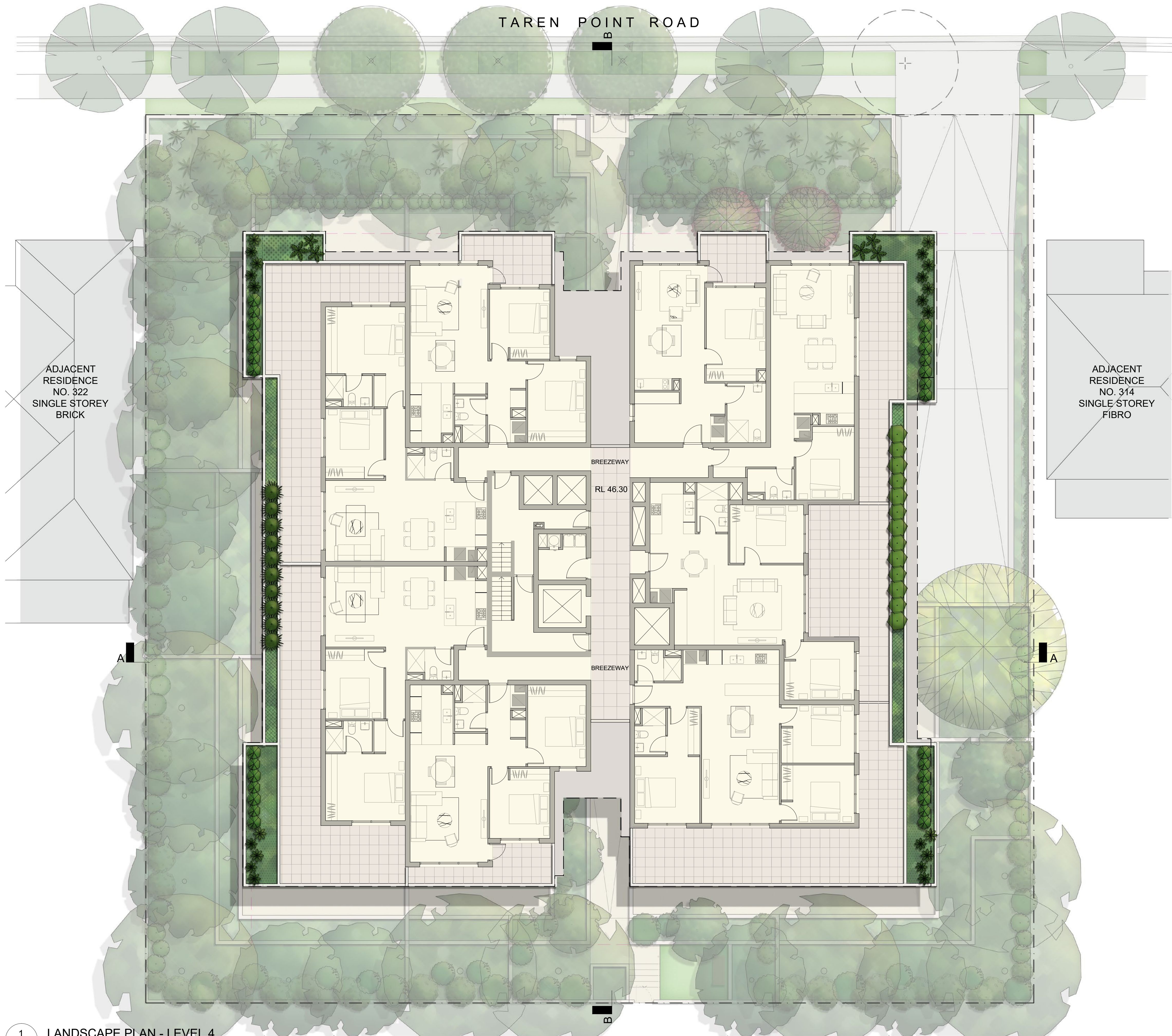
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**316-320 TAREN POINT RD  
CARINGBAH**

DRAWING TITLE  
**LANDSCAPE PLAN  
GROUND**

VERIFIED	CD
DATE DRAWN	24/11/2015
PROJECT NUMBER	15731
DRAWING NUMBER	ISSUE
LS-201	D





**LEGEND**

- BENCHMARK NAIL IN PATH  
RL 33.325 (A.H.D.)
- EXISTING/PROPOSED  
SPOT LEVELS
- MASONRY WALLING  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 1  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 2  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 3  
(REFER ARCHITECT'S DRAWINGS)
- LAWN AREA
- LARGE TREE PLANTING  
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(REFER PLANT SCHEDULE)
- SCREEN PLANTING  
(REFER PLANT SCHEDULE)
- GROUND COVER MIX(S) PLANTING  
(REFER PLANT SCHEDULE)

**DRAWING NOTES**

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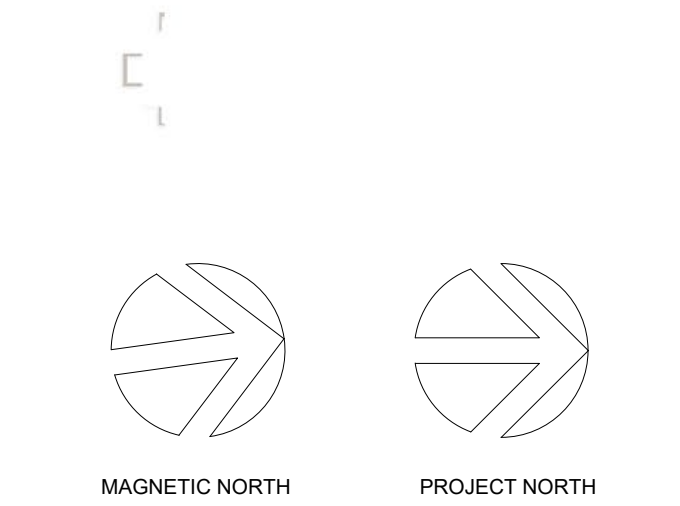
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**DESIGN NOTES**

- Synthetic grass play zone.
- Informal lounge zone.
- Covered BBQ zone.

**LANDSCAPE CALCULATIONS**

67.1m2 INTERNAL PLANTER AREAS (LEVEL 4).



REV	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	26/04/2016
REV	DESCRIPTION	DATE

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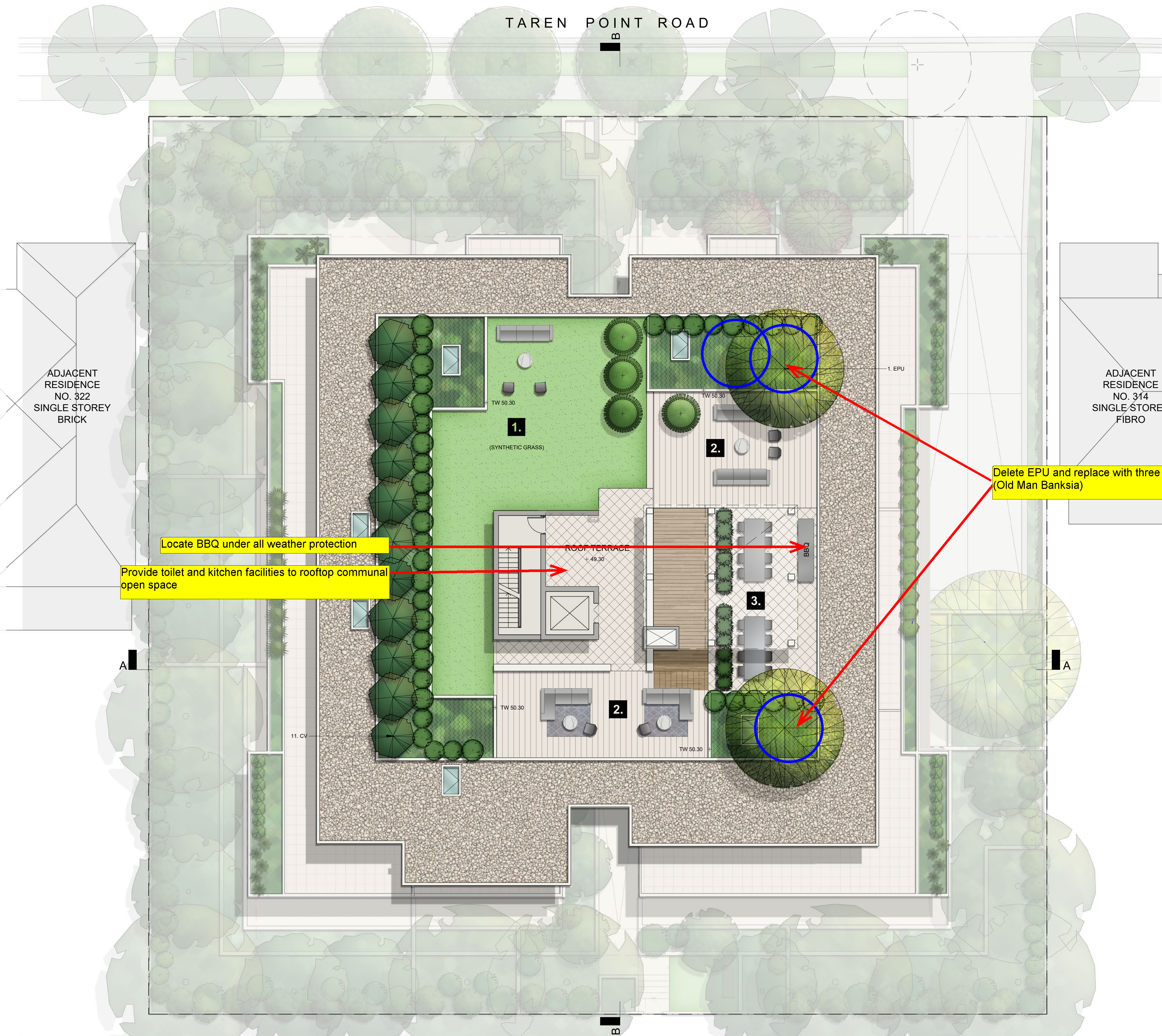
PROJECT AND ADDRESS  
**APARTMENT BUILDING  
316-320 TAREN POINT RD  
CARINGBAH**

DRAWING TITLE  
**LANDSCAPE PLAN  
LEVEL 4**

SCALE	1:100 @ A1 / 1:200 @ A3
DESIGN/DRAWN	HG/KS
VERIFIED	CD
DATE DRAWN	24/11/2015
PROJECT NUMBER	15731

DRAWING NUMBER	ISSUE
LS-202	A





LEGEND

- BENCHMARK NAIL IN PATH  
RL 33.325 (A.H.D.)
- EXISTING/PROPOSED  
SPOT LEVELS
- MASONRY WALLING  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 1  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 2  
(REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 3  
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- SCREEN PLANTING  
(REFER PLANT SCHEDULE)
- GROUND COVER MIX(S) PLANTING  
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DESIGN NOTES

- Synthetic grass play zone.
- Informal lounge zone.
- Covered BBQ zone.

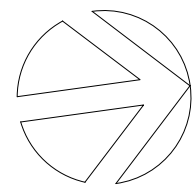
LANDSCAPE CALCULATION

127m<sup>2</sup> INTERNAL PLANTER AREAS (ROOF),  
EXCLUDING PLANTING TROUGHS AND POTS.

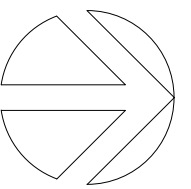
Locate BBQ under all weather protection

Provide toilet and kitchen facilities to rooftop communal open space

Delete EPU and replace with three Banksia serrata  
(Old Man Banksia)



MAGNETIC NORTH



PROJECT NORTH

REV	DESCRIPTION	DATE
C	FOR DEVELOPMENT APPLICATION	26/04/2016
B	FOR DEVELOPMENT APPLICATION	04/12/2015
A	FOR INFORMATION	29/11/2015

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PROJECT AND ADDRESS  
**APARTMENT BUILDING  
316-320 TAREN POINT RD  
CARINGBAH**

DRAWING TITLE  
**LANDSCAPE PLAN  
ROOF**

SCALE	1:100 @ A1 / 1:200 @ A3
DESIGN/DRAWN	HG/KS
VERIFIED	CD
DATE DRAWN	24/11/2015
PROJECT NUMBER	15731

DRAWING NUMBER	ISSUE
LS-203	C



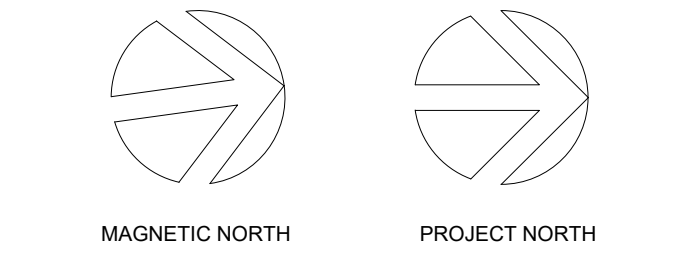


1 LANDSCAPE SECTION - AA  
- SCALE 1:100 @ A1

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- DESIGN NOTES
1. Boundary screen planting.
  2. Feature potted plants.
  3. Covered BBQ zone.
  4. Deciduous tree planting.



REV	DESCRIPTION	DATE
B	FOR DEVELOPMENT APPLICATION	26/04/2016
A	FOR DEVELOPMENT APPLICATION	04/12/2015

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PROJECT AND ADDRESS  
**APARTMENT BUILDING  
316-320 TAREN POINT RD  
CARINGBAH**

DRAWING TITLE  
**LANDSCAPE SECTIONS  
SECTION AA**

SCALE	1:100 @ A1 / 1:200 @ A3
DESIGN/DRAWN	HG/KS
VERIFIED	CD
DATE DRAWN	24/11/2015
PROJECT NUMBER	15731

DRAWING NUMBER	ISSUE
LS-301	B





1  
-

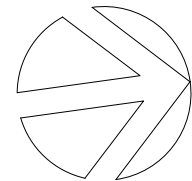
LANDSCAPE SECTION - BB  
SCALE 1:100 @ A1

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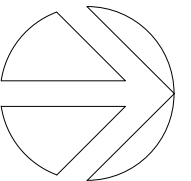
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### DESIGN NOTES

1. Boundary screen planting.
2. Landscape feature wall.
3. Feature potted plants.
4. Communal yard.
5. Pedestrian entry.
6. Entry portico.



MAGNETIC NORTH



PROJECT NORTH

REV	DESCRIPTION	DATE
B	FOR DEVELOPMENT APPLICATION	26/04/2016
A	FOR DEVELOPMENT APPLICATION	04/12/2015

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PROJECT AND ADDRESS  
**APARTMENT BUILDING  
316-320 TAREN POINT RD  
CARINGBAH**

DRAWING TITLE  
**LANDSCAPE SECTIONS  
SECTION BB**

SCALE	1:100 @ A1 / 1:200 @ A3
DESIGN/DRAWN	HG/KS
VERIFIED	CD
DATE DRAWN	24/11/2015
PROJECT NUMBER	15731

DRAWING NUMBER	ISSUE
LS-302	B



PLANT SCHEDULE

SYMB.	BOTANICAL NAME	COMMON NAME	CENTRES	POT	HT / SP *	TOTAL	NATIVE	LOCATION	
TREE PLANTING									
-	ACACIA DECURRENS (v)	GREEN WATTLE	RANDOMLY	25lt	3-6 x 2-3m	3	Y	WEST, SOUTH & EAST BUILDING SETBACKS	
-	ACACIA IRRODATA (v)	GREEN WATTLE	RANDOMLY	25lt	4-6 x 2-4m	3	Y	WEST, SOUTH & EAST BUILDING SETBACKS	
-	ACACIA PARRAMATTENSIS (v)	SYDNEY GREEN WATTLE	RANDOMLY	25lt	3-6 x 2-3m	3	Y	WEST, SOUTH & EAST BUILDING SETBACKS	
AC	ANGOPHORA COSTATA	SMOOTH BARKED APPLE	SPECIMENS	75lt	8-20 x 5-10m	4	Y	WEST, SOUTH & EAST BUILDING SETBACKS	
BI	BANKSIA INTEGRIFOLIA	COSTAL BANKSIA	SPECIMENS	75lt	4-6 x 2-4m	5	Y	COMMUNAL ENTRIES/ EXITS	
CV	CALLISTEMON VIMINALIS	BOTTLEBRUSH	2.0m CTS	45lt	3-5 x 2-3m	11	Y	COMMUNAL ENTRIES/ EXITS	
CA	CUPANOPSIS ANACARDIOIDES	TUCKAROO	SPECIMENS	75lt	3-8 x 3-5m	4	Y	EASTERN BUILDING SETBACK	
ER	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	SPECIMENS	75lt	4-8 x 2-4m	6	Y	SOUTHERN BUILDING SETBACK	
EPA	EUCALYPTUS PANICULATA	IRON BARK	SPECIMENS	75lt	15-30 x 8-15m	3	Y	EASTERN & WESTERN BUILDING SETBACKS	
EP	EUCALYPTUS PILULARIS	BLACKBUTT	SPECIMENS	75lt	15-30 x 8-10m	2	Y	EASTERN BUILDING SETBACK	
EPU	EUCALYPTUS PUNCTATA	GREY GUM	SPECIMENS	75lt	10-25 x 5-8m	2	Y	WESTERN BUILDING SETBACK	
LI	LAGERSTROEMIA INDICA	CREPE MYRTLE	SPECIMENS	100lt	4-5 x 3-5m	2	N	WESTERN COURTYARDS	
SG	SYNCARPIA GLOMULIFERA	TURPENTINE	SPECIMENS	75lt	15-25 x 5-8m	2	Y	SOUTHERN BUILDING SETBACK	
TL	TRISTANIOPSIS LAURINA	WATER GUM	SPECIMENS	75lt	3-10 x 3-5m	4	Y	WESTERN BUILDING SETBACK	
UP	ULMUS PARVIFOLIA	CHINESE ELM	SPECIMENS	100lt	6-10 x 5-8m	2	Y	ROOF & NORTHERN COURTYARD	
SHRUB PLANTING									
	ACMENA SMITHII 'HEDGEMASTER'	DWARF LILLYPILLY	500mm	25lt	1 x 1m	28	Y	LEVEL 4	
	CYCAS REVOLUTA	CYCAD	RANDOM	45lt	1.5 x 1.5m	6	Y	LEVEL 4	
	CRINUM PEDUNCULATUM	SWAMP LILY	RANDOM	25lt	1 x 1m	20	Y	LEVEL 4	
	MURRAYA MIN-A-MIN	DWARF MURRAYA	500mm	25lt	1000 x 6000mm	00	N	LEVEL 4	
	RHAPHIOLEPSIS INDICA 'BALLERINA'	INDIAN HAWTHORN	500mm	25lt	1 x 1m	44	N	WESTERN COURTYARDS	
	SYZYGium 'PATHFINDER'	LILLY PILLY CULTIVAR	1000mm	25lt	2 x 1m	00	Y	ROOF GARDEN	
	XANTHORRHOEA GLAUCA	NATIVE GRASS TREE	SPECIMENS	150lt	VARIABLE	9	Y	ROOF GAREN	
SHRUB PLANTING MIX - A (v)									
	BANKSIA MARGINATA	SILVER BANKSIA	RANDOM	200mm	1.5-3 x 1.5-2.5m	15	Y	WESTERN BUILDING SETBACK	
	BANKSIA SPINULOSA	HAIRPIN BANKSIA	RANDOM	200mm	1.5 x 1m	15	Y		
	CALLISTEMON 'ENDEAVOUR'	BOTTLEBRUSH	RANDOM	200mm	2 x 2m	15	Y		
SHRUB PLANTING MIX - B (v)									
	ACMENA SMITHII	LILLY PILLY	RANDOM	200mm	3-8 x 3-5m	12	Y	SOUTHERN BUILDING SETBACK	
	BANKSIA SPINULOSA	HAIRPIN BANKSIA	RANDOM	200mm	1.5 x 1m	12	Y		
	CERATOPETALUM GUMMIFERUM	NSW CHRISTMAS BUSH	RANDOM	200mm	2-4 x 1-3m	12	Y		
	MELALEUCA ARMILLARIS	GIANT HONEY MYRTLE	RANDOM	200mm	2-4 x 4-6m	12	Y		
SHRUB PLANTING MIX - C (v)									
	BANKSIA MARGINATA	SILVER BANKSIA	RANDOM	200mm	1.5-3 x 1.5-2.5m	15	Y	EASTERN & NORTHERN BUILDING SETBACK	
	BANKSIA SPINULOSA	HAIRPIN BANKSIA	RANDOM	200mm	1.5 x 1m	15	Y		
	CALLISTEMON 'CAPTAIN COOK'	BOTTLEBRUSH	800mm	200mm	1.5 x 1.5m	15	Y		
	CALLISTEMON 'WESTERN GLORY'	BOTTLEBRUSH	800mm	200mm	2-4 x 2m	15	Y		
	MELALEUCA ARMILLARIS	GIANT HONEY MYRTLE	RANDOM	200mm	2-4 x 4-6m	15	Y		
GROUND COVER PLANTING - MIX A (v)									
	DIANELLA CAERULEA	BLUE FLAX LILY	5/m2	TUBE	0.5 x 0.5m	60	Y	STREET	
	VIOLA HEDERACEAE	NATIVE VIOLET	3/m2	TUBE	0.1 x 1m	60	Y		
GROUND COVER PLANTING - MIX B (v)									
	CALLISTEMON 'WHITE ANZAC'	BOTTLEBRUSH	3/m2	200mm	1 x 1m	15	Y	FRONT PLANTER & ENTRY PLANTER	
	CORREA 'DUSKY BELLS'	CORREA	3/m2	200mm	0.7 x 1m	15	Y		
	CORREA ALBA	COASTAL CORREA	3/m2	200mm	1 x 1m	15	Y		
	GREVILLEA DIFFUSA	RED SPIDER FLOWER	3/m2	200mm	1 x 1m	15	Y		
GROUND COVER PLANTING - MIX C (v)									
	DORYANTHES EXCELSA	GYMEA LILY	RANDOM	200mm	1.5 x 1.5m	50	Y	WESTERN BUILDING SETBACK	
	RYTIDOSPERMA FULVUM	WALLABY GRASS	2/m2	TUBE	0.7 x 0.7m	300	Y		
	THEMEDA AUSTRALIS	KANGAROO GRASS	3/m2	TUBE	0.5 x 0.5m	450	Y		
	GROUND COVER PLANTING - MIX D (v)								
	BANKSIA 'BIRTHDAY CANDLES'	BIRTHDAY CANDLES	3/m2	150mm	0.5 x 0.5m	60	Y		SOUTHERN BUILDING SETBACK
	CRINUM PEDUNCULATUM	SWAMP LILY	3/m2	150mm	1 x 0.6m	60	Y		
	DORYANTHES EXCELSA	GYMEA LILY	2/m2	150mm	1.5 x 1.5m	40	Y		
	GREVILLEA POORINDA 'ROYAL MANTLE'	PROSTRATE GREVILLEA	3/m2	150mm	0.2 x 1m	60	Y		
	LOMANDRA 'TANIKA'	DWARF BASKET GRASS	5/m2	150mm	0.5 x 0.5m	100	Y		
GROUND COVER PLANTING - MIX D (v)									
	BANKSIA 'BIRTHDAY CANDLES'	BIRTHDAY CANDELES	3/m2	150mm	0.5 x 0.5m	33	Y	COURTYARD EDGE PLANTERS	
	CRINUM PEDUNCULATUM	SWAMP LILY	3/m2	150mm	1 x 0.6m	33	Y		
	LOMANDRA 'TANIKA'	DWARF BASKET GRASS	5/m2	150mm	0.5 x 0.5m	55	Y		
	MELALEUCA THYMIFOLIA	THYME HONEY MYRTLE	2/m2	150mm	1 x 1m	22	Y		
VIOLA HEDERACEAE	NATIVE VIOLET	2/m2	150mm	0.1 x 1m	22	Y			
GROUND COVER PLANTING - MIX E (v)									
	CRINUM PEDUNCULATUM	SWAMP LILY	1/m2	150mm	1 x 0.6m	9	Y	NORTHERN COURTYARD EDGE PLANTERS	
	GREVILLEA POORINDA 'ROYAL MANTLE'	PROSTRATE GREVILLEA	3/m2	150mm	0.2 x 1m	25	Y		
	LOMANDRA 'TANIKA'	DWARF BASKET GRASS	5/m2	150mm	0.5 x 0.5m	42	Y		
GROUND COVER PLANTING - MIX F (v)									
	DIETES 'BICOLOR'	WILD IRIS	2/m2	150mm	1 x 1m	40	N	EASTERN & NORTHERN BUILDING SETBACK	
	DORYANTHES PALMERI	GYMEA LILY	1/m2	150mm	1.5 x 1.5m	20	Y		
	GREVILLEA 'GAUDI CHAUDI'	PROSTRATE GREVILLEA	1/m2	150mm	0.3 x 1m	20	Y		
	HEMEROCALLIS FULVA	DAY LILY	3/m2	150mm	0.6 x 0.5m	60	Y		
LOMANDRA HYSTRIX	BASKET GRASS	1/m2	TUBE	1 x 1m	20	Y			
GROUND COVER PLANTING - MIX G (v)									
	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	3/m2	TUBE	1 x 0.6m	120	Y	BUILDING ENTRY/ EXIT COMMUNAL AREAS	
	VIOLA HEDERACEAE	NATIVE VIOLET	1/m2	TUBE	0.1 x 1m	40	Y		
GROUND COVER PLANTING - MIX H (v)									
	AGAPANTHUS 'SNOW STORM'	WHITE DWARF AGGY	6/m2	150mm	350 x 250mm	12	N	WEST FACING COURTYARDS	
	HEMEROCALLIS FULVA	DAY LILY	5/m2	150mm	500 x 500mm	12	N		
	GARDENIA 'RADICANS'	PROSTRATE GARDENIA	5/m2	200mm	450 x 500mm	10	N		
	PHORMIUM 'BRONZE BABY'	NF FLAX CULTIVAR	5/m2	150mm	400 x 400mm	10	N		
	PENNISETUM 'RUBRUM'	FOUNTAIN GRASS	3/m2	150mm	700 x 500mm	6	Y		
GROUND COVER PLANTING - MIX I (v)									
	BANKSIA 'BIRTHDAY CANDLES'	BIRTHDAY CANDELES	3/m2	150mm	0.5 x 0.5m	45	Y	ROOF GARDEN	
	GREVILLEA 'GAUDI CHAUDI'	PROSTRATE GREVILLEA	2/m2	150mm	0.3 x 1m	30	Y		
	CRINUM PEDUNCULATUM	SWAMP LILY	2/m2	150mm	1 x 0.6m	30	Y		
	LOMANDRA HYSTRIX	BASKET GRASS	2/m2	150mm	1 x 1m	3	Y		
GROUND COVER PLANTING									
	DICHONDRA 'SILVER FALLS'	SILVER FALLS	3/m2	150mm	0.2 x 1m	45	N	LEVEL 4	
	HIBBERTIA SCANDENS	SNAKE VINE	2/m2	150mm	0.3 x 1m	20	Y	LEVEL 4	
	LOMANDRA 'TANIKA'	DWARF BASKET GRASS	5/m2	150mm	0.5 x 0.5m	20	Y	LEVEL 4	
	VIOLA HEDERACEAE	NATIVE VIOLET	3/m2	150mm	0.3 x 1m	54	Y	LEVEL 4	

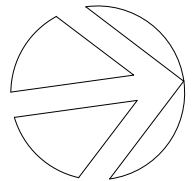
PLANTING NOTES

(1)	ACACIA NURSE PLANTS. TO BE REMOVED WITHIN 5-7 YEARS FROM INSTALLATION (NOTE THAT THEY ARE NOT ILLUSTRATED ON THE DRAWINGS)
(2)	PLANT IN IRREGULAR GROUPS OF ODD NUMBERS OF SAME SPECIES.
(3)	PLANT IN IRREGULAR GROUPS OF ODD NUMBERS OF SAME SPECIES.
(4)	MIX BOTH SPECIES EVENLY THROUGHOUT THE GARDEN BED.
(5)	PLANT IN GROUPS OF FOUR OF EACH SPECIES AND ADJUST THE LAYOUT TO BE SLIGHTLY IRREGULAR.
(6)	GROUP LIKE SPECIES IN GROUPS OF THREE, FIVE AND SEVEN - RANDOMLY PLACED TO GIVE AN OVERALL INFORMAL NATURAL ARRANGEMENT.
(7)	GROUP IN LARGER GROUPS OF LIKE SPECIES OF FIVE, NINE AND ELEVEN - RANDOMLY PLACED TO GIVE AN OVERALL INFORMAL NATURAL ARRANGEMENT.
(8)	GROUP BIRTHDAY CANDLES AND MYRTLE IN GROUPS OF THREE SPACED EVENLY THROUGHOUT THE GARDEN BED. PLANT NATIVE VIOLET AT 2m2 EVENLY THROUGHOUT GARDEN BED TO FORM A NATURAL LIVING MULCH.
(9)	PLANT PROSTRATE GREVILLEA AND DWARF BASKET GRASS IN LARGE DRIFTS. INTERPLANT THE BASKET GRASS WITH THE GYMEA LILY AT RANDOM CENTRES.
(10)	INTERPLANT SPECIES WITH GREATER ROOM FOR THE GYMEA LILY.
(11)	PLANT BOTH SPECIES EVENLY WITHIN THE GARDEN BED.
(12)	PLANT IN GROUPS OF ODD NUMBERS THROUGHOUT THE GARDEN BED.
*	HEIGHT AND SPAN INDICATIVE. SUBJECT TO ONSITE LOCAL ENVIRONMENTAL FACTORS. USE ONLY AS A GUIDE.

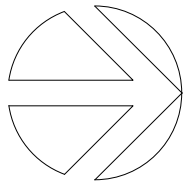
DRAWING NOTES

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4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS.
5. THE LEVELS SHOWN ON THIS PLAN HAVE BEEN BASED ON SURVEY BY NORTON SURVEY, DATED AUGUST 2015.

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MAGNETIC NORTH



PROJECT NORTH

B	FOR DEVELOPMENT APPLICATION	26/04/2016
A	FOR DEVELOPMENT APPLICATION	04/12/2015
REV	DESCRIPTION	DATE

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PROJECT AND ADDRESS
<b>APARTMENT BUILDING</b>
<b>316-320 TAREN POINT RD</b>
<b>CARINGBAH</b>

DRAWING TITLE
<b>LANDSCAPE DETAILS</b>

SCALE	NOT APPLICABLE
DESIGN/DRAWN	HG/KS
VERIFIED	CD
DATE DRAWN	24/11/2015
PROJECT NUMBER	15731

DRAWING NUMBER	ISSUE
<b>LS-401</b>	<b>B</b>



CONSTRUCTION NOTES

HARD LANDSCAPE

**FENCING**  
REFER TO ARCHITECTURAL PLANS AND SPECIFICATION.

**RETAINING WALLS**  
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS. CONSTRUCTION AND WATER PROOFING AS PER ENGINEERING DETAILS AND SPECIFICATION.

**FOOTPATHS**  
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS. CONSTRUCTION AS PER ENGINEERING DETAILS AND SPECIFICATION.

**LIGHTING**  
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS.

SOFT LANDSCAPE

**STANDARDS**  
STORAGE AND HANDLING OF PESTICIDES TO AS 2507. SITE AND IMPORTED TOPSOIL TO AS 4419. COMPOSTS, SOIL CONDITIONERS AND MULCHES TO AS 4454.

**SUBMISSIONS**  
**SOIL:** TESTS FOR IMPORTED TOPSOIL WITH CERTIFICATE NOTING THE SUITABILITY OF EACH SOIL TYPE FOR ITS SPECIFIED USE, SIMILARITY TO NATURALLY OCCURRING LOCAL SOIL, SUITABILITY FOR ESTABLISHMENT AND ON-GOING VIABILITY OF THE SITE SPECIFIED VEGETATION, AND ABSENCE OF ANY WEED PROPAGULES OR CONTAMINANTS. **SAMPLES:** SUBMIT REPRESENTATIVE SAMPLES OF EACH MATERIAL PACKED TO PREVENT CONTAMINATION AND LABELLED TO INDICATE SOURCE AND CONTENT. SAMPLES TO REMAIN ON SITE FOR THE DURATION OF THE CONSTRUCT WORKS.

**PLANTING MEDIA**  
IMPORTED TOPSOIL AND/OR TOPSOIL WON AND STOCKPILED ON SITE. TOPSOIL TO BE OF A FRIABLE, PORUS NATURE. FREE FROM WEEDS AND WEED SEDS, BULBS, CORMS AND VEGETABLE PROPAGULES. FREE FROM REFUSE OR MATERIALS TOXIC TO HUMANS, ANIMALS OR PLANTS. FREE FROM STUMPS, ROOTS, CLAY LUMPS OR STONES LARGER THEN 50 mm IN SIZE. pH RANGE 5.5 to 7.5. MAXIMUM SOLUBLE SALT CONTENT 0.06% BY MASS. MINIMUM ORGANIC CONTENT 3% BY MASS.

**FERTILISER**  
ORGANIC TYPE. 6:3:1:8:2:8  
NITROGEN:PHOSPHORUS:POTASSIUM RATIO.

**MULCH**  
ORGANIC HORTICULTURAL PINE BARK LANDSCAPE MULCH. 20 mm GRADED.

**HARDWOOD STAKES AND TIES**  
FOR ADVANCED STOCK, 2 STAKES, 25 x 25 x 2000 mm, SHARPENED AT ONE END DRIVEN INTO THE GROUND 1/3 OF OVERALL LENGTH. SECURE HESSIAN WEBBING IN A FIGURE OF EIGHT, STAPELLED TO STAKES.

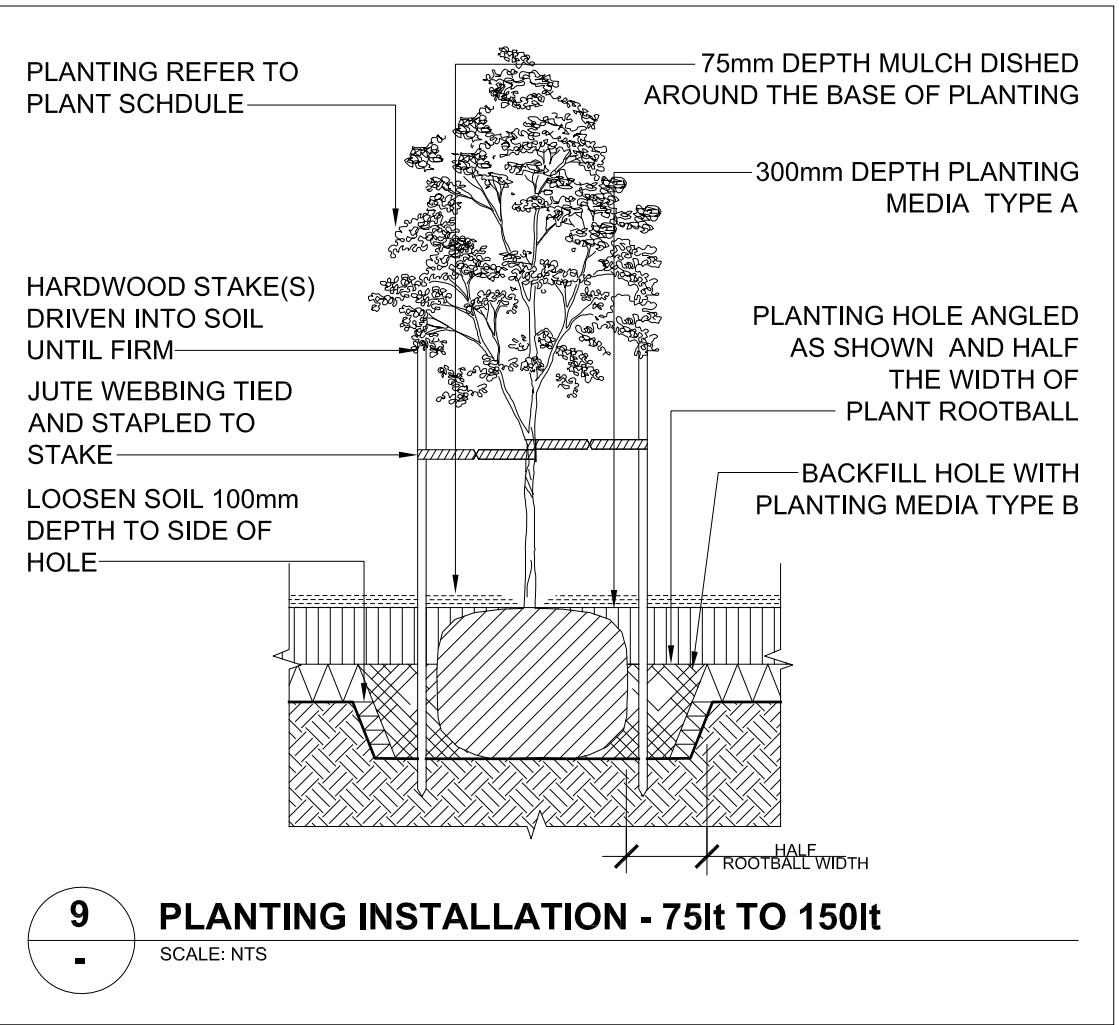
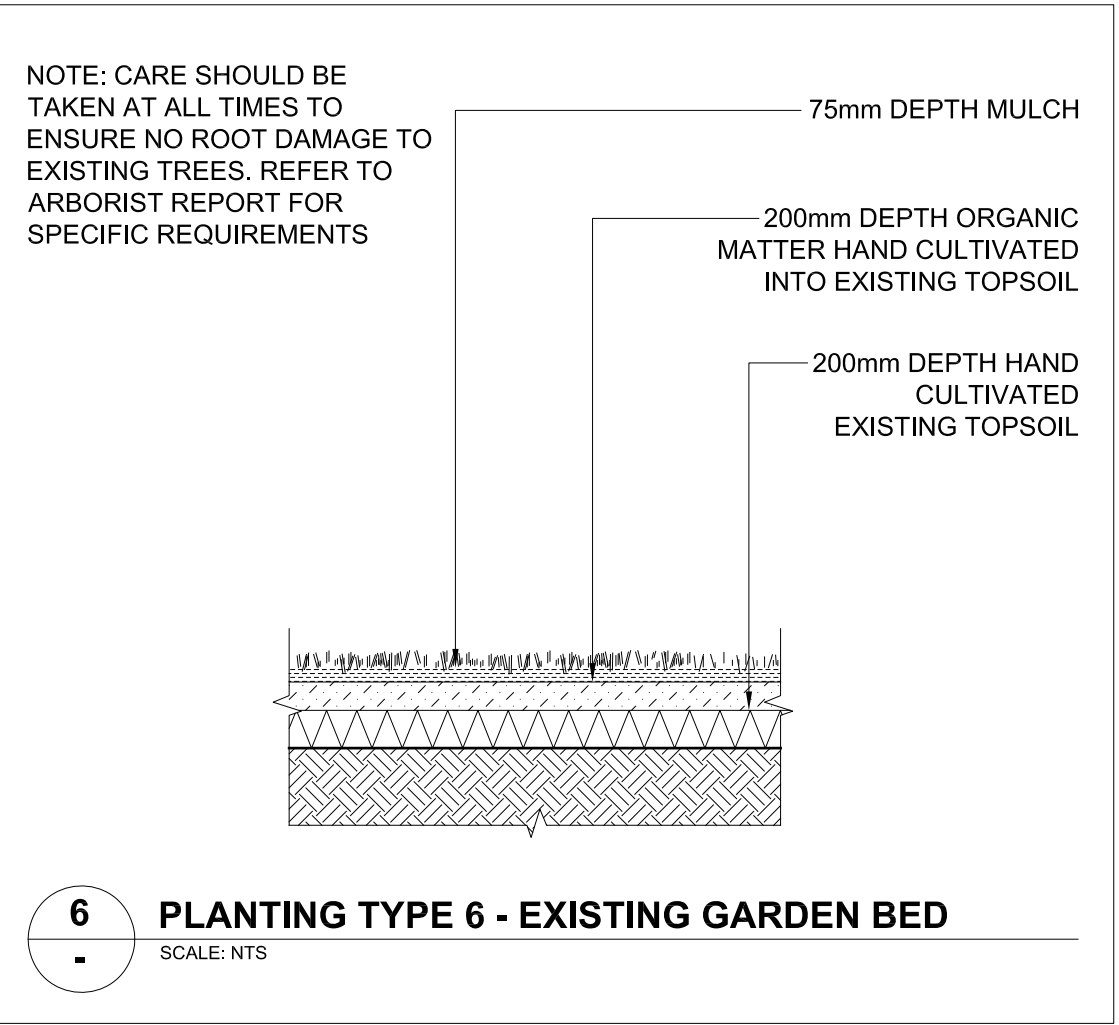
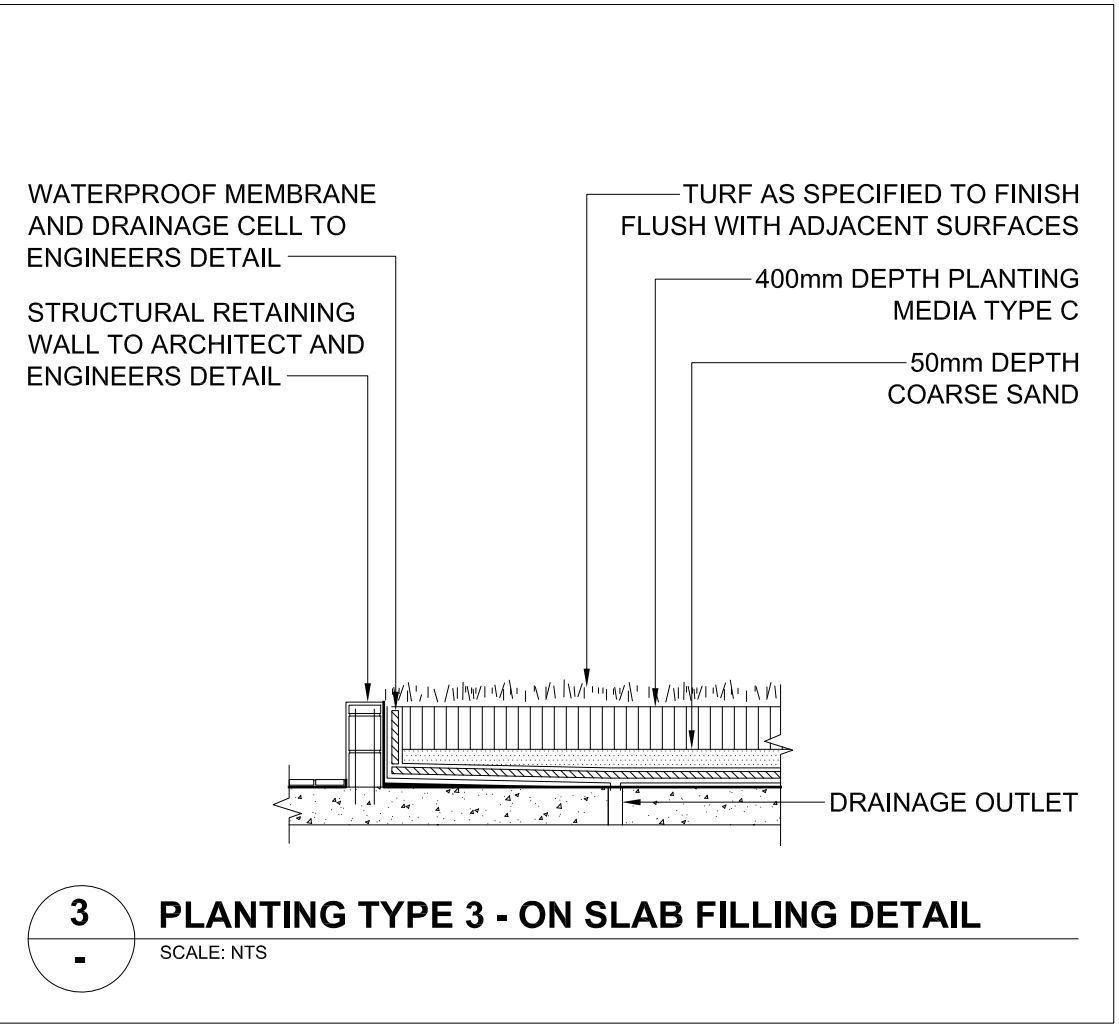
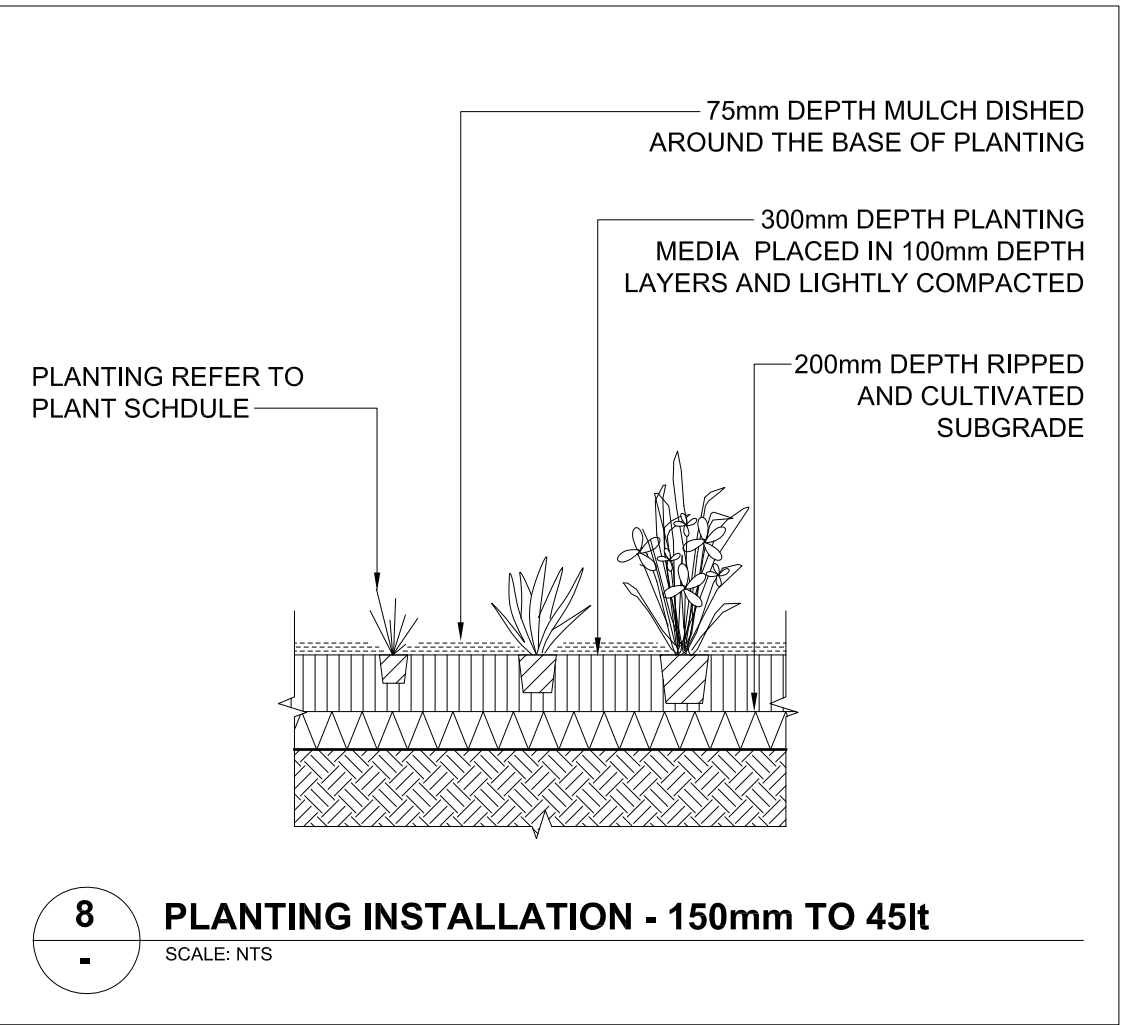
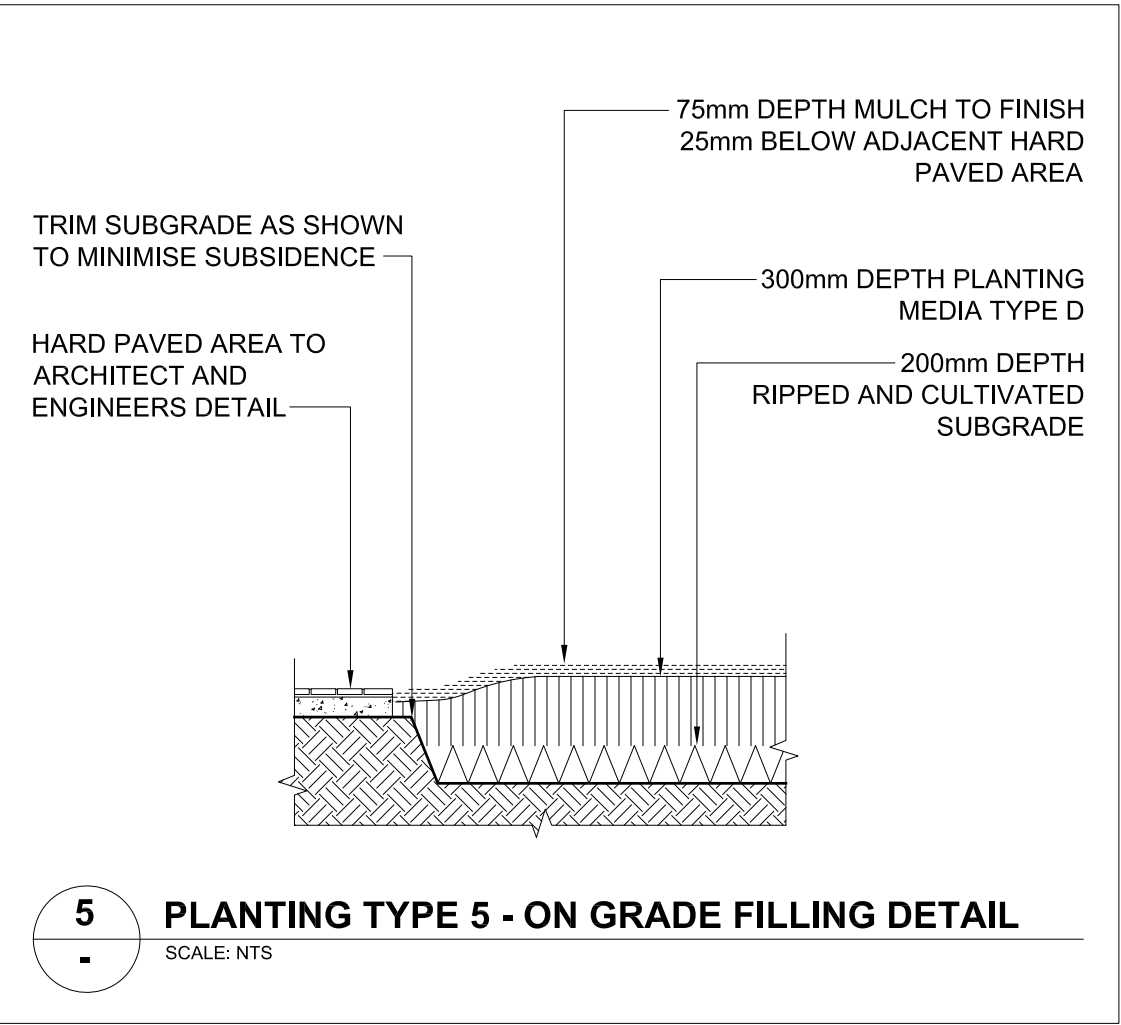
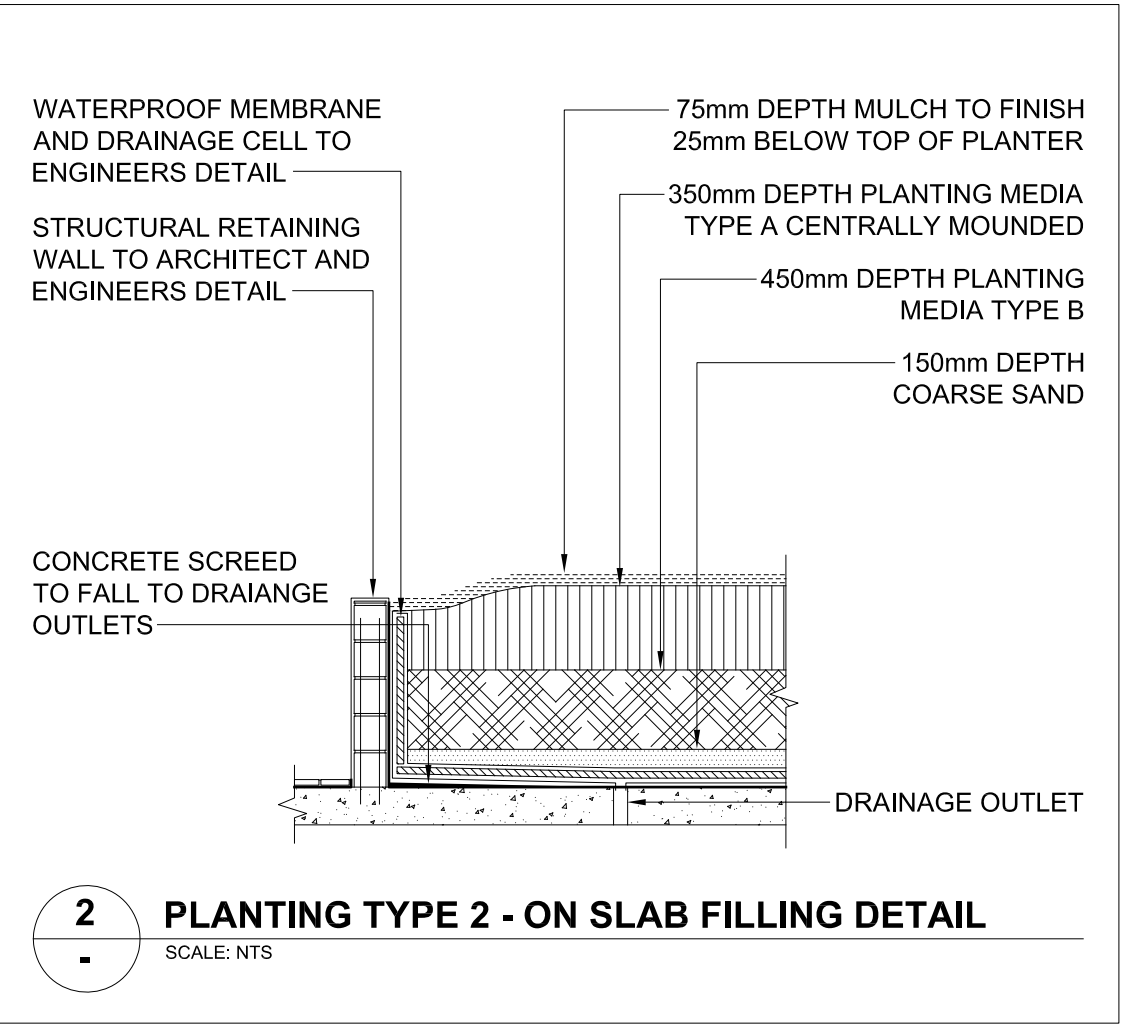
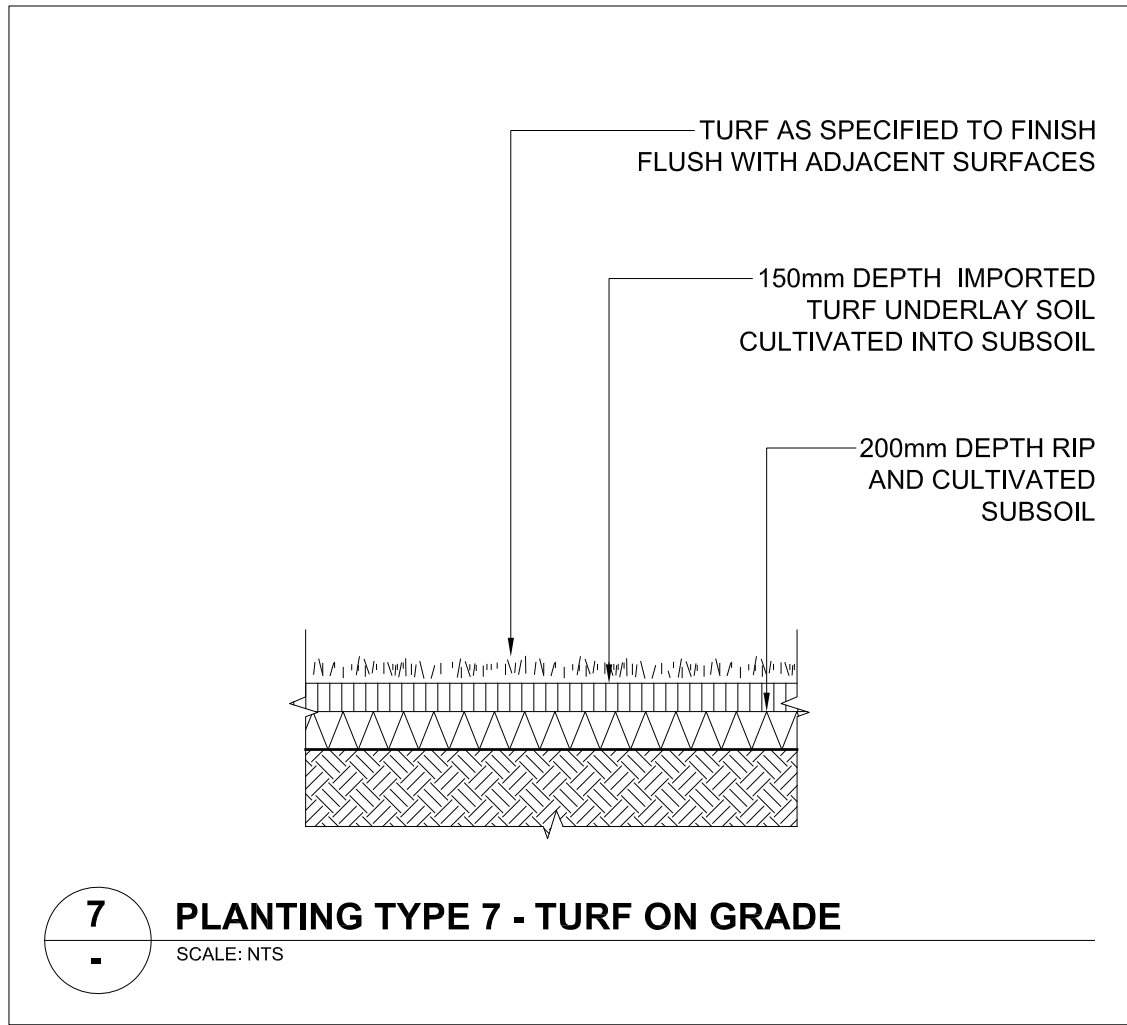
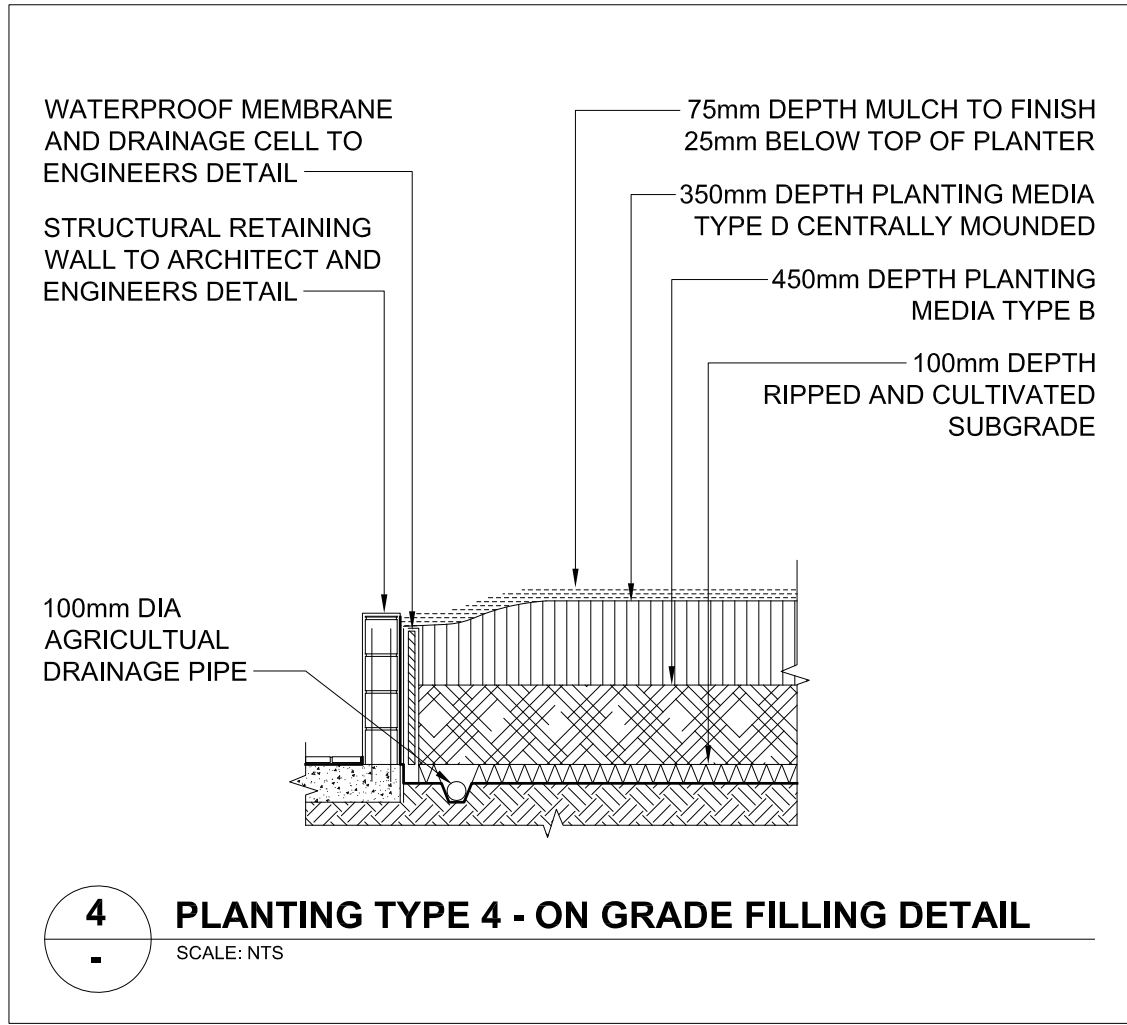
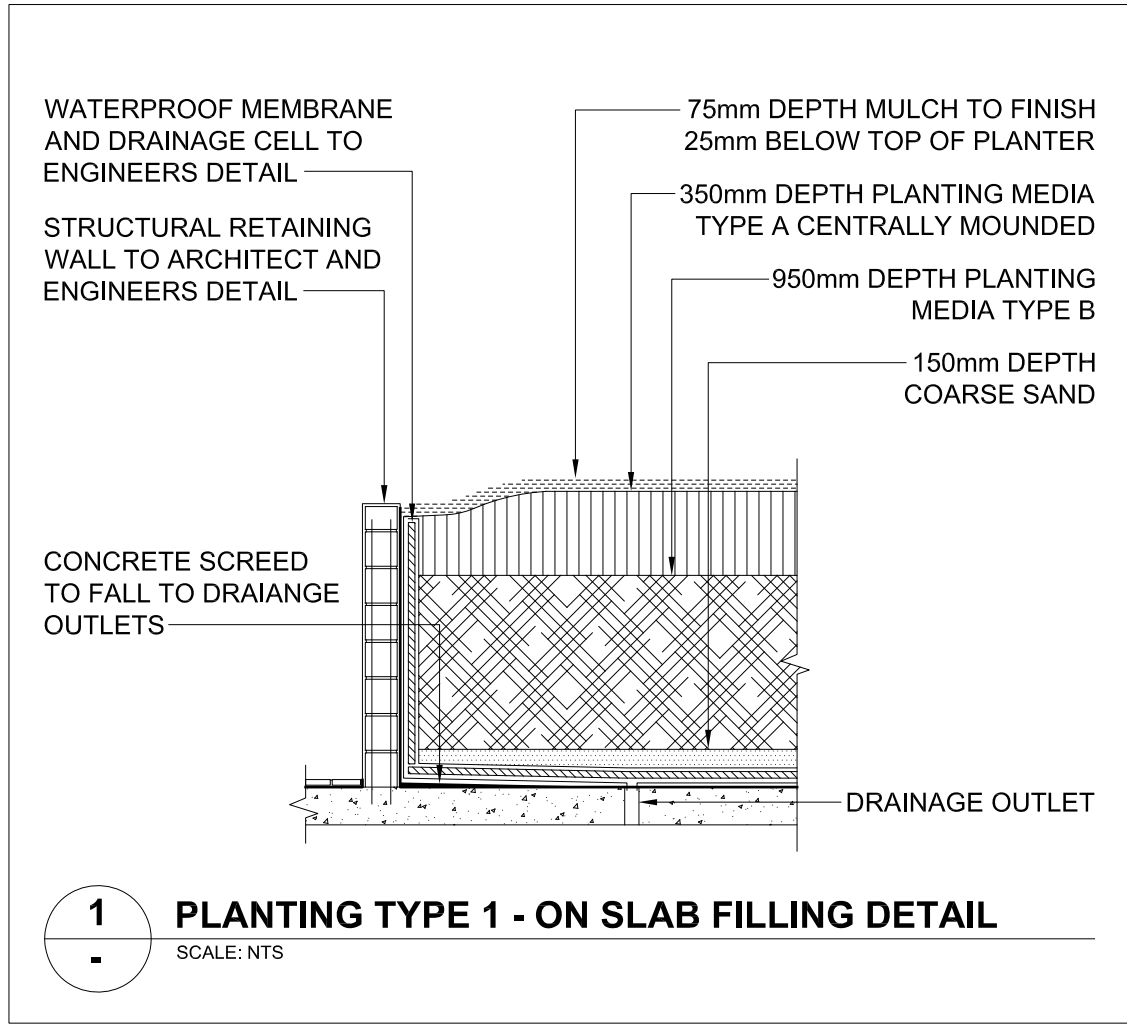
**PLANT MATERIALS**  
**TURF:** SIR WALTER BUFFALO, FREE FROM WEEDS. SOIL PESTS AND DISEASE, 25 mm DEPTH OF DENSE, WELL ROOTED, VIGOROUS GRASS GROWTH WITH 25 mm DEPTH OF TOPSOIL. SUPPLY SOUND UNBROKEN ROLLS IN STANDARY INDUSTRY LENGTHS AND 300 mm WIDTH.  
**CONTAINER STOCK:** SPECIES AS PER SCHEDULE AND CLEARLY LABELLED. HEALTHY, OF GOOD FORM AND NOT SOFT OR FORCED, LARGE ROBUST ROOT SYSTEM, NOT ROOT BOUND, FREE FROM DISEASE AND INSECT PESTS. TREE STOCK SHOULD HAVE A SINGLE LEADING SHOOT.

**GARDEN BED AREAS ON GRADE**  
**PREPARATION:** TRIM SUBGRADE TO BULK EARTH WORKS LEVELS AS REQUIRED BY FINISHED SURFACE LEVELS. HERBICIDE TREATMENT TO SUPPLIER'S INSTRUCTIONS, 2 WEEKS PRIOR TO PLANTING.  
**SOIL CONDITIONING:** TO SOIL TESTING RESULTS. GENERALLY GYPSUM.  
**RIPPING AND CULTIVATION:** RIP THE SURFACE AT 500 mm CENTRES TO A DEPTH OF 300 mm AND BREAK THE TOP 200mm OF PLANTING BED BY CULTIVATION TO A MAXIMUM SIZE OF 50 mm TO PRODUCE A LOOSE SURFACE AND REMOVE ALL LARGE STONES, RUBBISH AND OTHER MATERIALS THAT MAY HINDER PLANT ESTABLISHMENT.  
**PLANTING MEDIA:** APPLY 300 mm DEPTH OF APPROVED TOPSOIL IN UNIFORM 100 mm DEPTH LAYERS CULTIVATING THE FIRST 100 mm INTO THE SUB-GRADE, THEN LIGHTLY COMPACTING EACH OTHER LAYER TO MAKE UP THE NECESSARY GRADES. ENSURE FINISHED SOIL LEVEL ALLOWS FOR APPLICATION OF MULCH.  
**PLANT:** PLANTING HOLE SHALL BE 2 TIMES ROOTBALL WIDTH. PLACE PLANT IN HOLE TO FINISH TOP OF ROOTBALL FLUSH WITH SORROUNDING GARDEN BED AND BACKFILL WITH TOPSOIL. ADD APPROVED SLOW RELEASE FERTILISER. WATER IMMEDIATELY.  
**MULCH:** PLACE APPROVED MULCH AT 75 mm DEPTH TO ENTIRE GARDEN BED, DISHED AROUND PLANT STEMS TO PREVENT COLLAR ROT. ENSURE FINISHED MULCH LEVEL IS 25 mm BELOW PAVED AREAS, KERBS OR GARDEN EDGING.  
**RAISED GARDEN BED:** SAME AS ABOVE. ENSURE WATER PROOF MEMBRANE TO REAR OF WALL AND AGRICULTURAL DRAIANGE TO BASE OF WALL IS PROVIDED. REFER TO ENGINEERING PLANS AND SPECIFICATION.

**RAISED GARDEN BED AREAS ON CONCRETE SLAB**  
**PREPARATION:** CONCRETE SCREED, WATERPROOFING, PROTECTION BOARDING, DRAINAGE CELL AND CLEAR CONNECTION TO SITE STORMWATER SYSTEM TO ENGINEER'S DETAILS AND SPECIFICATION.  
**PLANTING MEDIA:** LIGHT WEIGHT PLANTER BOX MIX INSTALLED IN 100 mm LAYERS, LIGHTLY COMPACTED TO MAKE UP PROVIDED DEPTHS ALLOWABLE. ENSURE FINISHED SOIL LEVEL ALLOWS FOR MULCH.  
**PLANT:** PLANTING HOLE SHALL BE 2 TIMES ROOTBALL WIDTH. PLACE PLANT IN HOLE TO FINISH TOP OF ROOTBALL FLUSH WITH SORROUNDING GARDEN BED AND BACKFILL WITH TOPSOIL. ADD APPROVED SLOW RELEASE FERTILISER. WATER IMMEDIATELY. ENSURE WATER PROOF MEMBRANE IS NOT DAMAGED.  
**MULCH:** PLACE APPROVED MULCH AT 75 mm DEPTH TO ENTIRE GARDEN BED, DISHED AROUND PLANT STEMS TO PREVENT COLLAR ROT. ENSURE FINISHED MULCH LEVEL IS 25 mm BELOW PLANTER BOX EDGE.

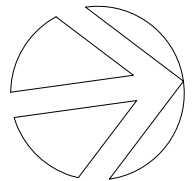
**IRRIGATION**  
FULLY AUTOMATIC DRIP IRRIGATION TO BE PROVIDED FOR ALL GARDEN BED AND LAWN AREAS. DESIGN AND CONSTRUCT TO MEET SYDNEY WATER REQUIREMENTS AND ALL RELEVANT AUSTRALIAN STANDARDS. WHERE POSSIBLE IRRIGATION SYSTEM SHOULD BE CONNECTED TO SITE RAIN WATER TANKS.

**PLANTING ESTABLISHMENT**  
52 WEEK PLANTING ESTABLISHMENT PERIOD. WATERING AS PER SEASONAL REQUIREMENTS DICTATE. WEEDING AS NECESSARY. REPLACEMENT OF DAMAGED, STOLEN OR FAILED PLANTS. LAWN MOWING ON A WEEKLY BASIS, WITH TOPDRESSING AT THE END OF PLANTING ESTABLISHMENT PERIOD. REMOVE STAKES AND TIES.

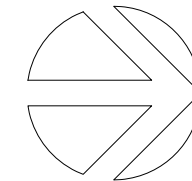


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  4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS.
  5. THE LEVELS SHOWN ON THIS PLAN HAVE BEEN BASED ON SURVEY BY NORTON SURVEY, DATED MARCH 2015.

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MAGNETIC NORTH



PROJECT NORTH

B	FOR DEVELOPMENT APPLICATION	11/09/2015
A	FOR COORDINATION	28/08/2015
REV	DESCRIPTION	DATE

greenplan

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PROJECT AND ADDRESS

**APARTMENT BUILDING**  
**128-136 WILLARONG ROAD**  
**CARINGBAH**

DRAWING TITLE

**LANDSCAPE DETAILS**

SCALE	NOT TO SCALE
DESIGN/DRAWN	HG/KS
VERIFIED	CD
DATE DRAWN	24/08/2015
PROJECT NUMBER	15722

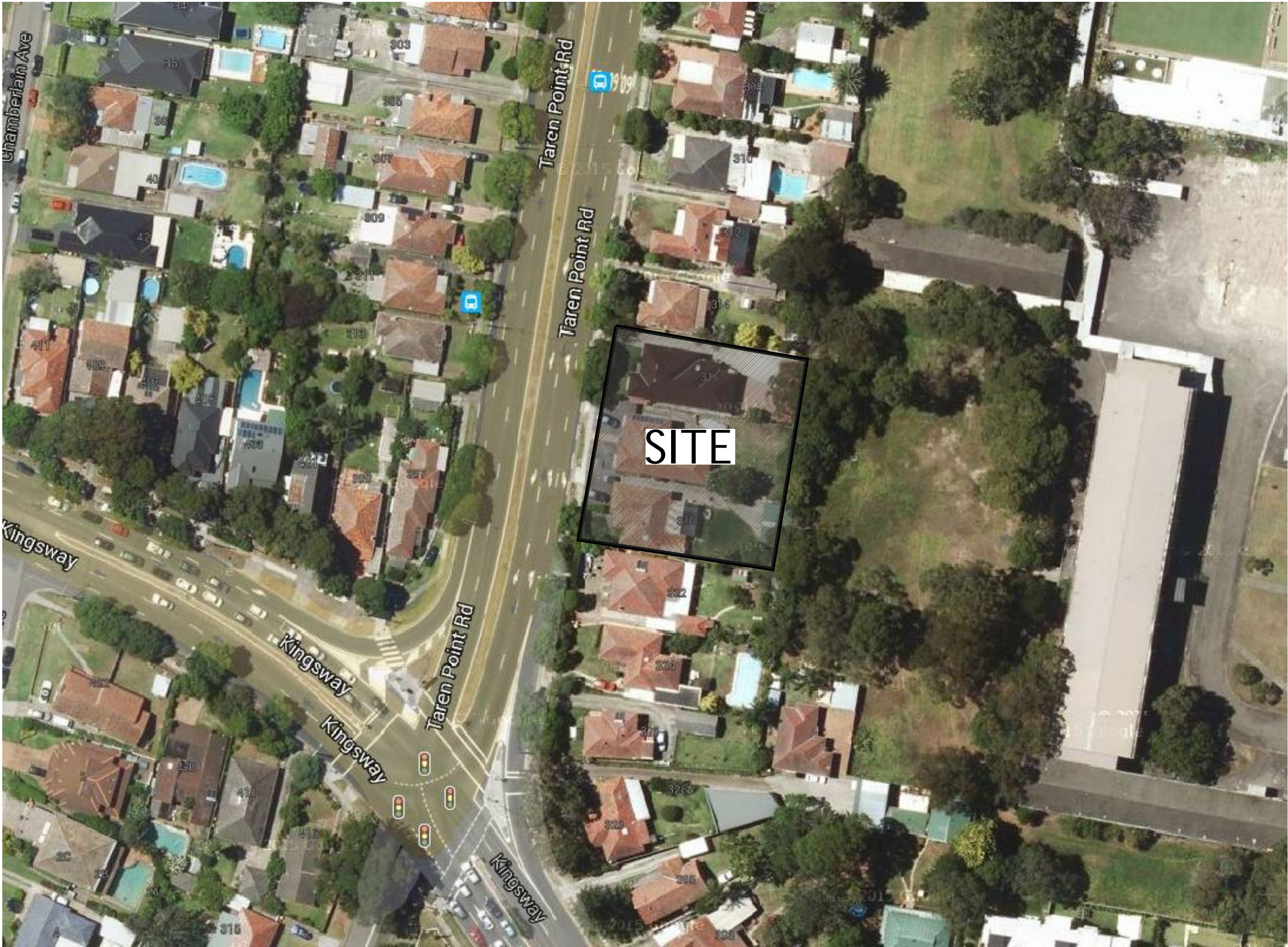
DRAWING NUMBER	ISSUE
LS-402	B



PRELIMINARY



# PROPOSED RESIDENTIAL DEVELOPMENT 316-320 TAREN POINT ROAD, CARINGBAH STORMWATER CONCEPT DESIGN



LOCALITY PLAN

DRAWING REGISTER		
No.	TITLE	REV
SW01	COVER SHEET	A
SW02	STORMWATER CONCEPT DESIGN - BASEMENT 2 PLAN	A
SW03	STORMWATER CONCEPT DESIGN - GROUND FLOOR PLAN - SHEET 1 OF 2	A
SW04	STORMWATER CONCEPT DESIGN - GROUND FLOOR PLAN - SHEET 2 OF 2	A
SW05	STORMWATER CONCEPT DESIGN - ROOF PLAN	A
SW06	SEDIMENT AND EROSION CONTROL - PLAN AND DETAILS	A
SW07	STORMWATER CONCEPT DESIGN - DETAILS SHEET	A

Drawing Title		
COVER SHEET		
Project Number	Drawing Number	Revision Number
20150368	SW01	A
Sheet	1 of 7	Issue
		FOR APPROVAL



DATE PLOTTED: 2 December 2015 3:30 PM BY: SGC\_MAC

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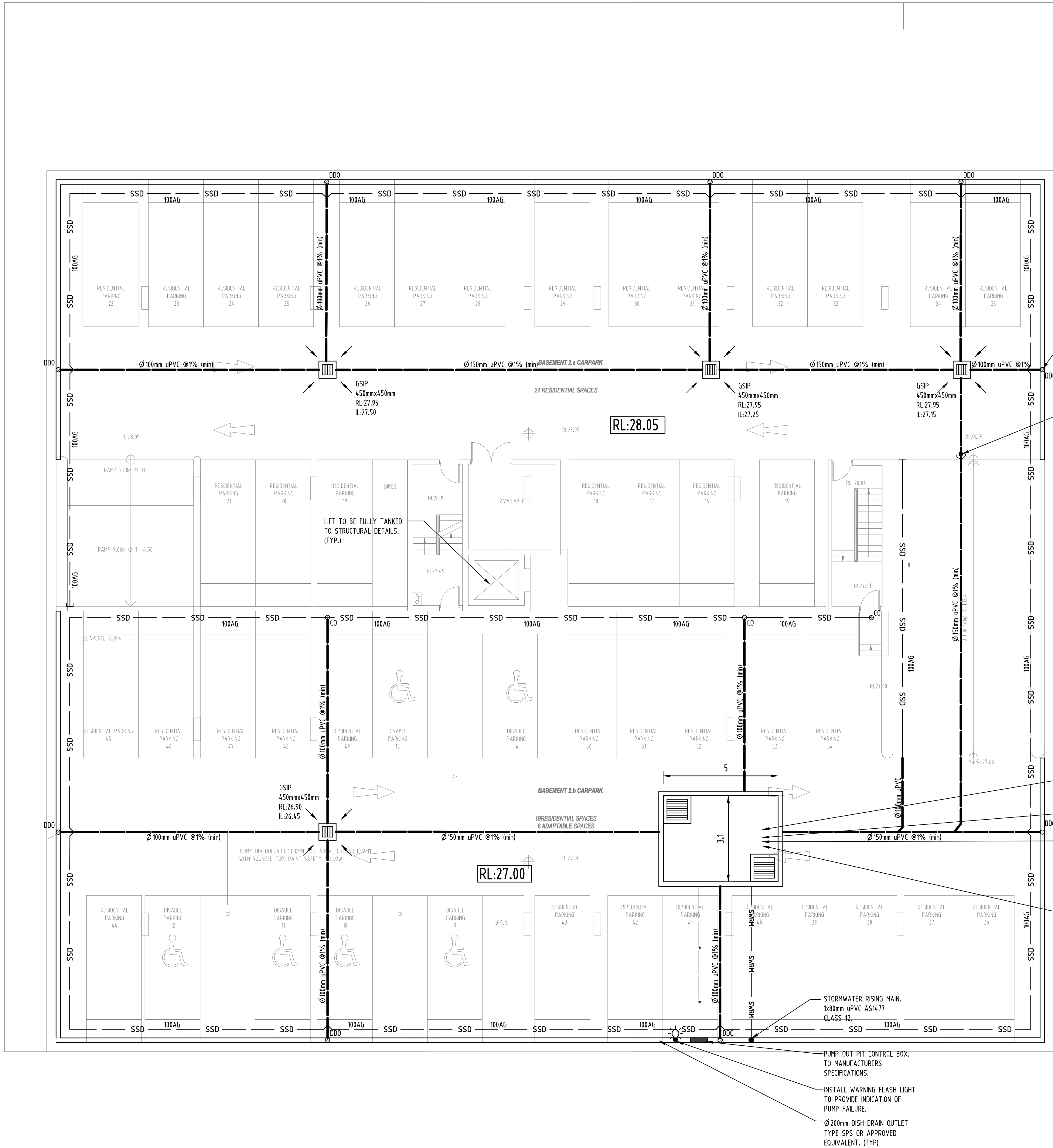
PRELIMINARY

### SUBSOIL DESIGN CALCS

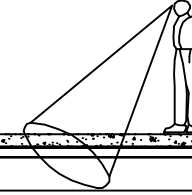
100yr 2hr ARI STORM = 60.2mm/hr  
ARk2= 120.6mm  
AREA OF DRIVEWAY RAMP UNCOVERED = 150m²  
V= Axd  
=150x(120.6/1000)  
=18.09m³  
THEREFORE, A VOLUME OF 18.60m³ SUBSOIL  
PUMP-OUT PIT WILL BE APPLIED AS PER  
AUSTRALIAN STANDARD.

### NOTE:

BASEMENT DRAINAGE DESIGN SUBJECT TO  
GEOTECHNICAL INVESTIGATION AND  
STRUCTURAL DESIGN OF WALLS AND SLABS.

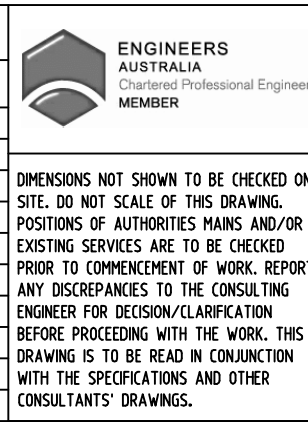


SERVICES ON THIS DRAWING  
ARE SHOWN BELOW SLAB U.L.O

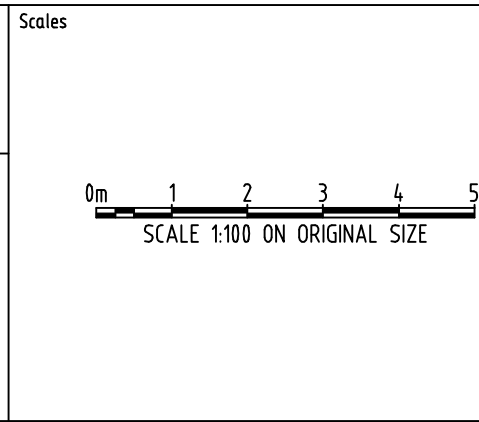
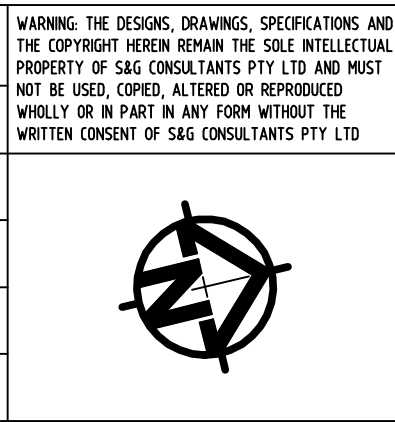


Reference Coordination Drawing			
Discipline	Drawing Title and Number	Date	Rev.
ARCH	DA 1.01	27.11.15	#
ARCH			
STRUCT			
MECH			
ELEC			
HYD			
FIRE			
LANDS			
CIVIL			
SURVEY			

Issue internal sequence and revision history			
Issue	Last revision title	by	Date Status
A	SUBMISSION TO COUNCIL	ZZ	02.12.15 2
1	preliminary		
2	development application		
3	construction certificate		
4	tender		
5	construction		
6	other		



QUALITY CONTROL	
DRAWN	DATE
CHECKED	DATE
DESIGNED	DATE
VERIFIED	DATE
APPROVED	DATE



CLIENT  
AT BUILDING  
PTY LTD

ARCHITECT  
marchesepartners

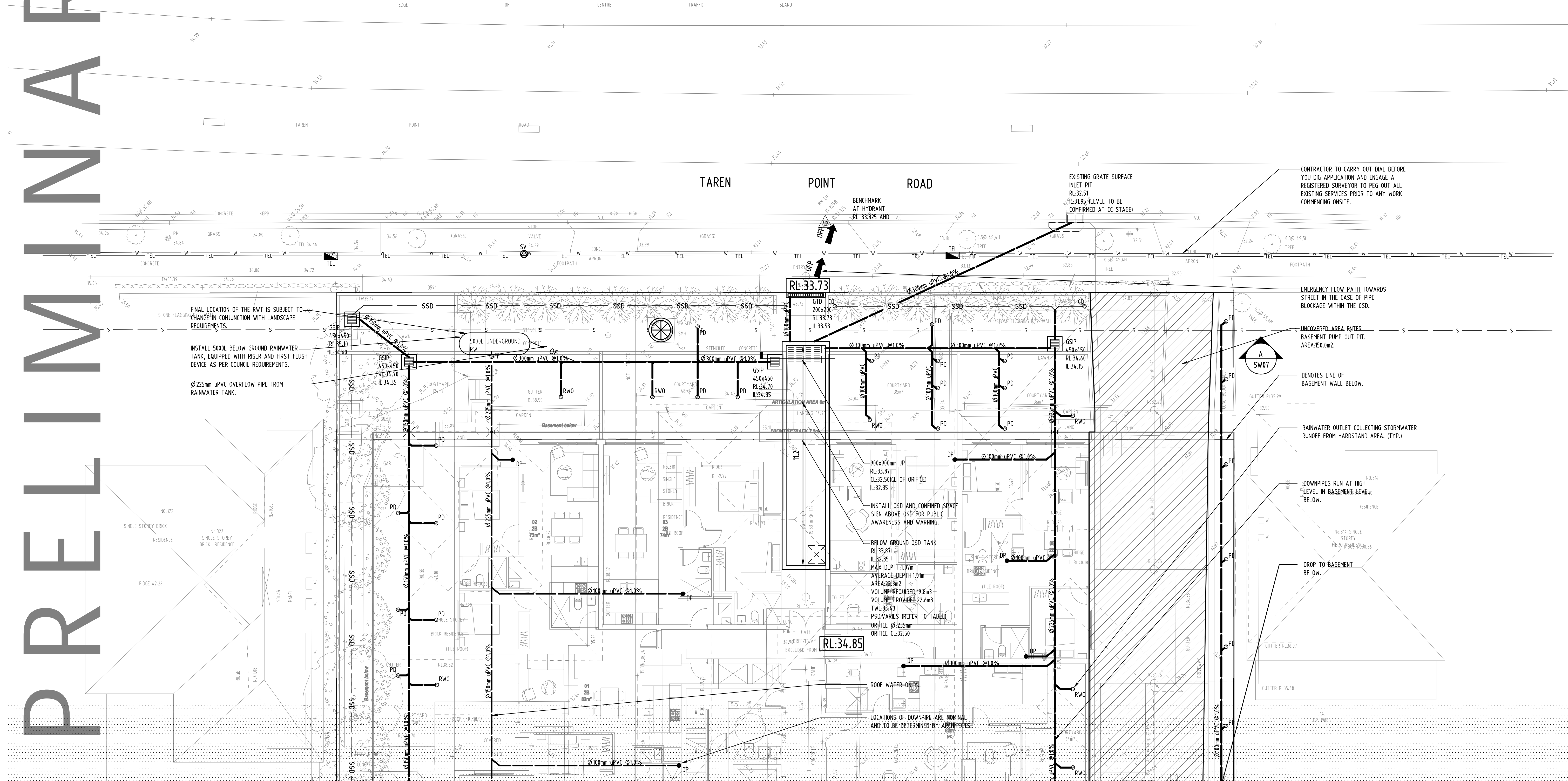
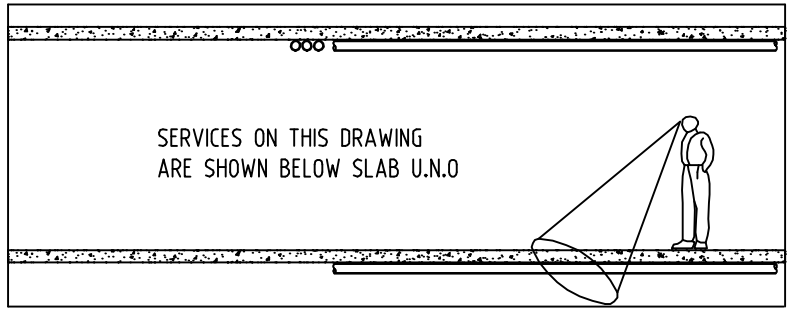
CONSULTING ENGINEER  
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**sgc**

PROJECT  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
316-320 TAREN POINT ROAD, CARINGBAH

Drawing Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Drawing Title	STORMWATER CONCEPT DESIGN BASEMENT 2 PLAN	
Project No	Drawing No	Revision No
20150368	SW02	A

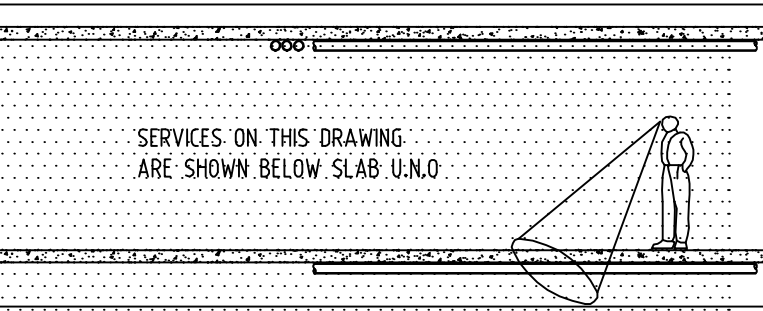
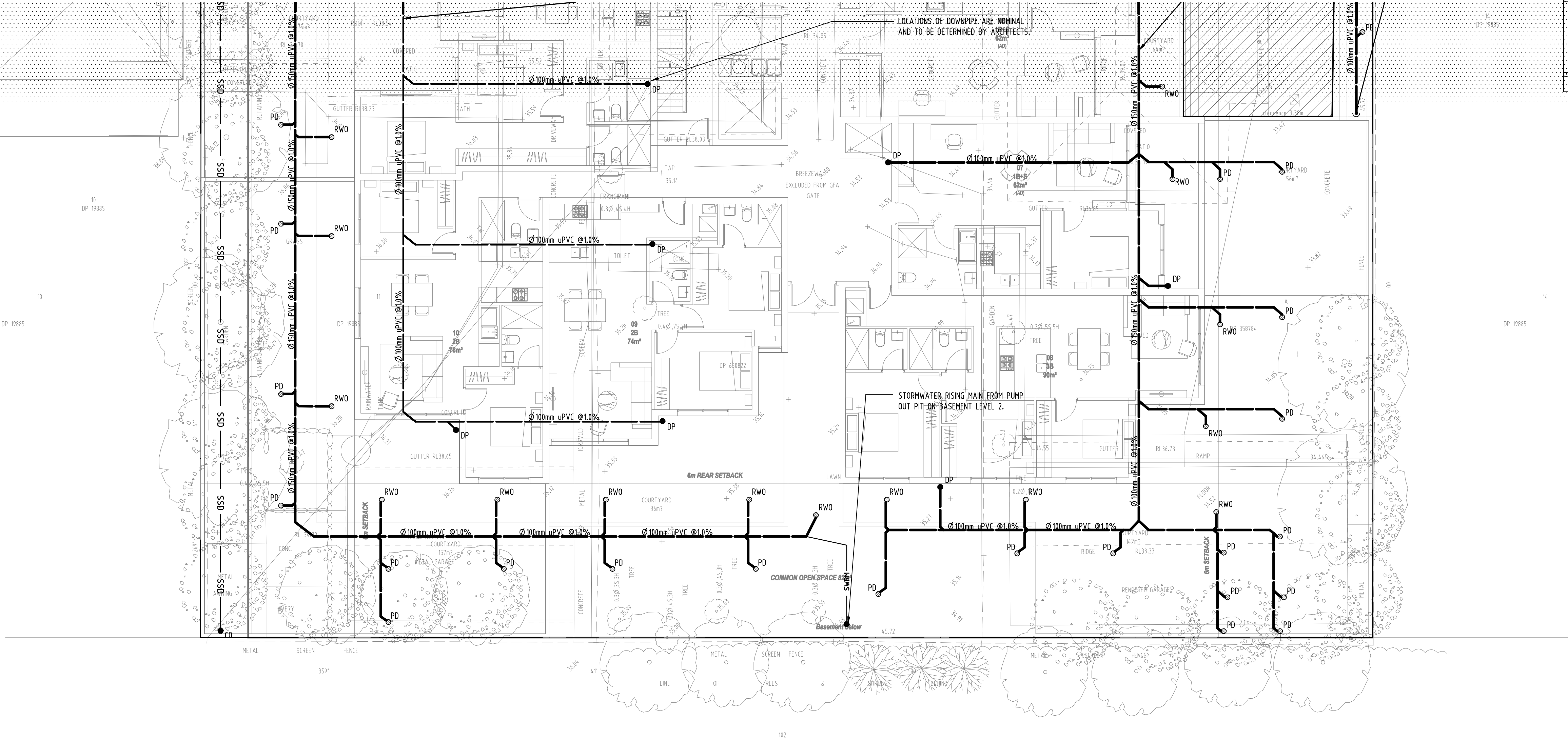
PRELIMINARY



Reference Coordination Drawing				 ENGINEERS AUSTRALIA Chartered Professional Engineer MEMBER	QUALITY CONTROL		<p>WARNING: THE DESIGNS, DRAWINGS, SPECIFICATIONS AND THE COPYRIGHT HEREIN REMAIN THE SOLE INTELLECTUAL PROPERTY OF S&amp;G CONSULTANTS PTY LTD AND MUST NOT BE USED, COPIED, ALTERED OR REPRODUCED WHOLLY OR IN PART IN ANY FORM WITHOUT THE WRITTEN CONSENT OF S&amp;G CONSULTANTS PTY LTD</p> 	<p>CLIENT AT BUILDING PTY LTD</p>	<p>ARCHITECT  marchesepartners</p>	<p>CONSULTING ENGINEER S&amp;G CONSULTANTS PTY LIMITED A.B.N. 21 118 222 530 Ste 412, Level 4, 14-16 LEXINGTON DRIVE BELLA VISTA, NSW 2153 T: +61 2 8883 4239 F: +61 2 9672 6977 Email: office@sgc.com.au Web: www.sgc.com.au</p>	<p>PROJECT PROPOSED RESIDENTIAL DEVELOPMENT 316-320 TAREN POINT ROAD, CARINGBAH</p>	Drawing Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Discipline	Drawing Title and Number	Date	Rev.		DRAWN	DATE						Drawing Title STORMWATER CONCEPT DESIGN		
ARCH	DA 1.03	27.11.15	#		CHECKED	DATE						GROUND FLOOR PLAN		
ARCH					DESIGNED	DATE						SHEET 1 OF 2		
STRUCT					VERIFIED	DATE						Project No		
MECH					APPROVED	DATE						Drawing No		
ELEC												Revision No		
HYD												20150368		
FIRE												SW03		
LANDS												A		
CIVIL														
SURVEY	36267	12.08.15	#											
Issue Last revision title				Issue internal sequence and revision history				Grid						
1-preliminary 4-tender				2-development application 5-construction				3-construction certificate 6-other						

PRELIMINARY

REFER TO DWG SW03 FOR CONTINUATION

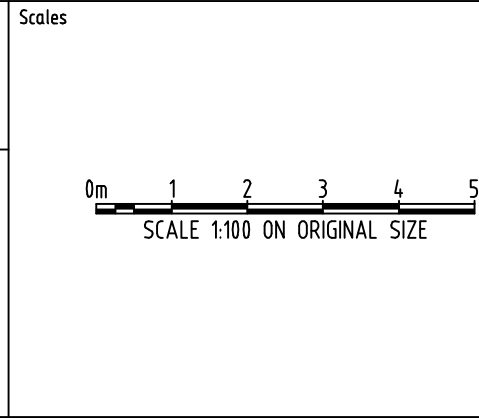
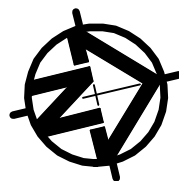


Reference Coordination Drawing			
Discipline	Drawing Title and Number	Date	Rev.
ARCH	DA 1.03	27.11.15	#
ARCH			
STRUCT			
MECH			
ELEC			
HYD			
FIRE			
LANDS			
CIVIL			
SURVEY	36267	12.08.15	#

Issue internal sequence and revision history			
Issue	Last revision title	by	Date
A	SUBMISSION TO COUNCIL	ZZ	02.12.15
1	preliminary		
2	development application		
3	construction certificate		
4	tender		
5	construction		
6	other		

QUALITY CONTROL	
DRAWN	DATE
CHECKED	DATE
DESIGNED	DATE
VERIFIED	DATE
APPROVED	DATE

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marchese partners

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**sgc**

PROJECT  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
316-320 TAREN POINT ROAD, CARINGBAH

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	4 of 7	1:100 @ A1

Drawing Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Drawing Title	STORMWATER CONCEPT DESIGN GROUND FLOOR PLAN SHEET 2 OF 2		
Project No	Drawing No	Revision No	
201503368	SW04	A	



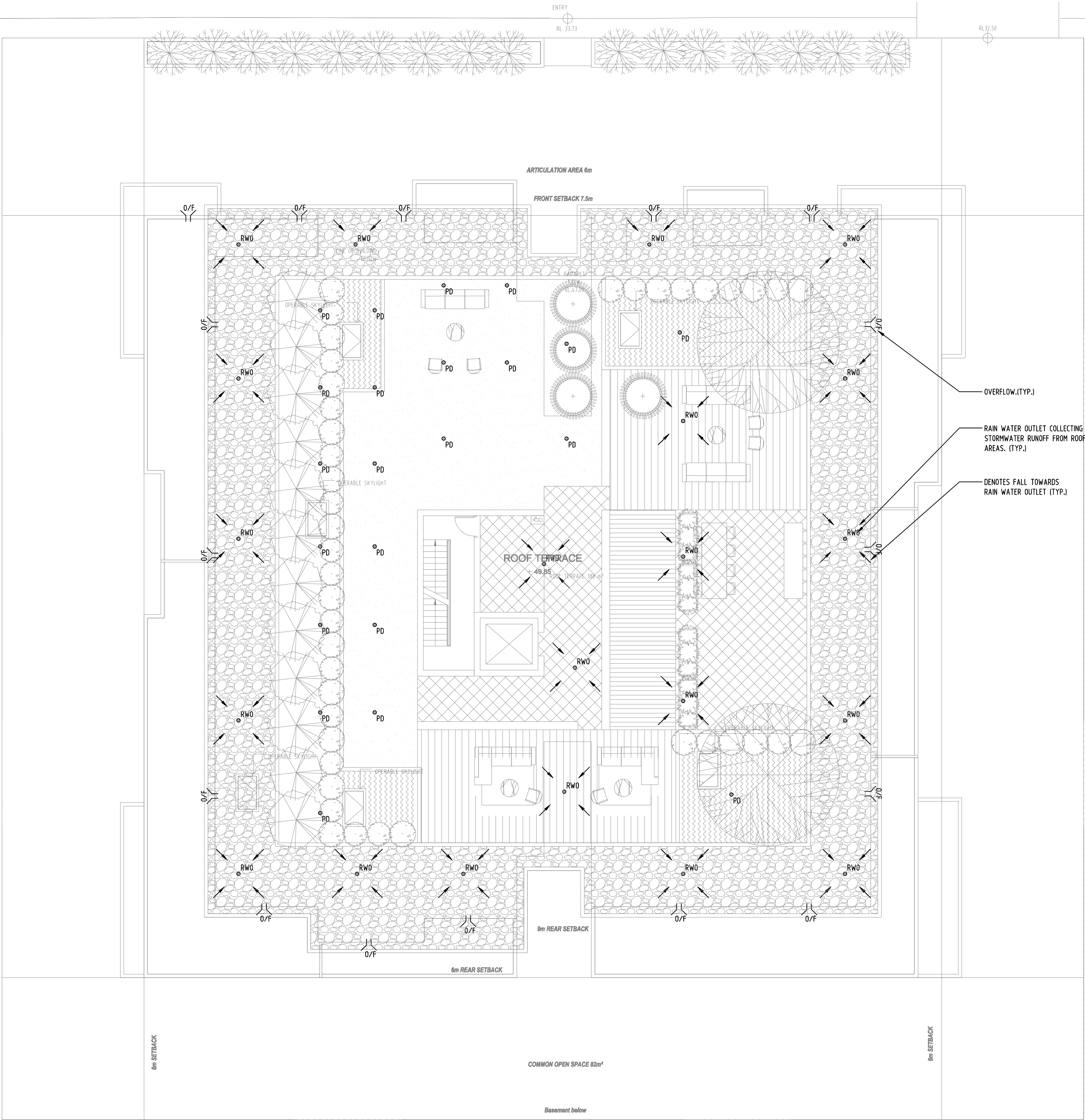
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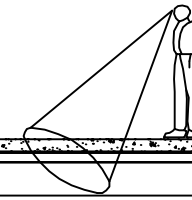
PRELIMINARY

No.322  
SINGLE-STOREY  
BRICK RESIDENCE

10  
DP 19885



SERVICES ON THIS DRAWING  
ARE SHOWN BELOW SLAB U.L.O



OVERFLOW (TYP.)

RAIN WATER OUTLET COLLECTING  
STORMWATER RUNOFF FROM ROOF  
AREAS. (TYP.)

DENOTES FALL TOWARDS  
RAIN WATER OUTLET (TYP.)

10  
DP 19885

PD

Reference Coordination Drawing			
Discipline	Drawing Title and Number	Date	Rev.
ARCH	DA 1.06	27.11.15	#
ARCH			
STRUCT			
MECH			
ELEC			
HYD			
FIRE			
LANDS			
CIVIL			
SURVEY			

Issue internal sequence and revision history			
Issue	Last revision title	by	Date Status
A	SUBMISSION TO COUNCIL	ZZ	02.12.15 2
1	preliminary		
2	development application		
3	construction certificate		
4	tender		
5	construction		
6	other		




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AUSTRALIA  
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MEMBER

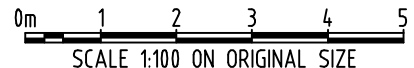
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PROJECT  
PROPOSED RESIDENTIAL  
DEVELOPMENT  
316-320 TAREN POINT ROAD, CARINGBAH

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	5 of 7	1:100 @ A1

Drawing Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Drawing Title	STORMWATER CONCEPT DESIGN ROOF PLAN		
Project No	Drawing No	Revision No	
20150368	SW05	A	





**Our Ref:** 0421/15lt1  
**Your Ref:** DA15/1586

26 April 2016

The General Manager  
Sutherland Shire Council  
Locked Bag 17  
**SUTHERLAND NSW 1499**

**Attention: Ms Meredith Alach**

Dear Meredith,

**RESPONSE TO ADDITIONAL INFORMATION REQUEST – DA15/1586  
DEMOLITION OF EXISTING STRUCTURES & CONSTRUCTION OF AN RFB UNDER THE  
AFFORDABLE RENTAL HOUSING SEPP 2009  
316-320 TAREN POINT ROAD, CARINGBAH**

As you are aware, we act on behalf of the applicant in relation to the proposed development at the above property. The purpose of this letter is to respond to the issues raised in Council's letter dated 24 March 2016 and also to respond to the report prepared by Council's Architectural Review Advisory Panel (ARAP). This submission is accompanied by amended plans and reports to supersede the original DA documents, where relevant.

Provided below is a correlated response to each issue raised by Council staff and the ARAP.

**1. Building Density**

Submitted separately are updated architectural drawings, along with GFA diagrams, which demonstrate compliance with the maximum permitted FSR (1.7:1). It is our view that, as the 'breezeway' is open at either end (a 1m high balustrade is provided at each end of the breezeway, which essentially creates an open void area between the northern and southern building components) and that GFA is measured from 1.4m above finished floor level, there is no 'external wall' to 'enclose' the outer ends of space, as required by the GFA definition. The words in the GFA definition are clear and this is not a matter for subjective interpretation of what *should* or *ought* to be included as calculable GFA.

Furthermore, the 'open' section of the ground floor corridors will be constructed to an external weather proof standard and recent case law on this topic has concluded that this would allow for the area to be excluded from GFA calculations. Please see the attached legal advice prepared by Mills Oakley, which forms Appendix 2 to this letter.

## 2. Building Height

In line with Council's concerns regarding the height of the building, we have now made various design amendments to the scheme so that the overall building height has been reduced by 550mm. In doing this, the courtyard of the unit on the north western corner of the site at ground floor is now only 1,100mm to 1,400mm above the existing natural ground level at this point. We have also amended the treatment to this corner so that the bulk of the building at this elevation is not as harsh or as confronting by reducing the height of the courtyard wall and fencing and pushing it back further from the site boundary. This creates a wider deep soil planting zone to enable significant screen planting to occur within a terrace planting bed approximately above 950mm above the pavement level at its highest point. The bulk of the building now sits below the 16m height plan as demonstrated by Section A and Section B. The elements which are above the plane relate to, or provide access to the communal open space area/roof terrace and these have been set back from the building edge so as to not cause any adverse impact on the neighbouring properties.

An amended clause 4.6 variation is attached for Council's perusal which reflects the above design amendments.

## 3. Affordable Housing

Please refer to the below table which clearly illustrates the particular units within the subject development which will be dedicated as Affordable Housing units. The floor area provided in the affordable housing units equates to 50% of the residential GFA proposed within the development, including the FSR bonus available under the SEPP.

Floor	Ground	Level 1	Level 2	Level 3	Level 4
Unit No. for Affordable Housing	2	2	2	2	1
	3	3	3	3	2
	4	4	4	4	3
	5	5	5	5	4
	9	10	10	10	

## 4. Streetscape

In line with Council's concerns regarding the north western corner of the site, the Building has been lowered (by 550mm) to reduce the height of the walls facing the street. Landscape garden walls have also been lowered and garden bed areas planted with suitable screen and ground cover planting which will mitigate views. These amendments have been made to ensure the retaining wall at this north western corner has a better relationship/interface with the street frontage and adjacent property.

## 5. Basement Setback

The basement has been reduced in size allowing for greater setbacks from the property boundary and increased areas of deep soil planting. There is a landscape buffer strip along the southern edge with a width in excess of 5m and along the eastern edge with a width of 3m. The total area of deep soil planting is now 499.8m<sup>2</sup> or 23.9%, well in excess of the required 15% under the ARH SEPP.

The courtyards within the buildings front setback have also been reduced in depth to allow for a wider landscaped area to the street and significant tree planting. We note that an existing sewer main runs within the front setback, and has therefore limited the total number of large trees.

## **6. Solar Access**

The initial proposal was designed to achieve 3 hours of solar access to 70% of the units in line with the affordable housing SEPP. In order to achieve this result, some of the balustrades to the balconies on the western facade included sections of open railings on the southern corners. These open corners allowed sun penetration to the units diagonally below, but resulted in compromised privacy and acoustic protection from Taren Point Road. In line with previous council advice, we have now amended these balustrades, making them entirely solid masonry and thereby achieve better visual privacy and acoustic buffering from Taren Point Road. This change results in a total of 8 units losing 1 hour of solar access yet still retaining 2 hours in accordance with the requirements of the ADG (SEPP No. 65).

The overall percentage of units which achieve 3 hours of solar access is 58.3%. However, the requirement for 3 hours under the ARH SEPP is not stated as a 'minimum' and Council has the power to support a lower percentage without the need for a SEPP No. 1 variation (see clause 14(3) of the ARH SEPP).

## **7. Apartment Design Guide / Architectural matters**

The southern units have been reconfigured to orientate the living areas to the east and west, thereby reducing the overlooking concerns raised. A raised planter has been added to the northern and southern edges of Level 4 terraces to provide a buffer from the building edge in order to mitigate the potential privacy issues raised, in line with Council's recommendations.

## **8. ARAP Report**

In response to the ARAP comments, the proposed has been amended as follows (bullet points responding to each ARAP issue):

- Timing approval and construction of the development proposal on the site to the east is unknown and it is not possible for the proposed development to sit in abeyance pending its progression. Furthermore, it is understood that the access road on the site to the east will be in private ownership with the rights to provide vehicular access and potentially garbage collection for the sites that front Taren Point Road, unknown at this stage. Therefore, we have designed for waste management to be through our site alone;
- ADG setback non-compliance – The access to the balcony on unit 8 has been changed to orientate to the east creating the main usable area of the balcony accessible directly from the living room without having to walk along the northern section of the balcony. The section has been retained to provide shading to the north facing windows below and provide articulation of the building. Raised planters have been added along the northern and southern edges of the level 4 terraces mitigating the potential privacy issues raised;
- Streetscape appearance – see discussion a point 4 of the submission;
- Entry ramp gradient – The overall building height has been reduced by 550mm which has resulted in the grade of the entry ramp changing from 1:14 to 1:20, in line with Council's request;

- Parking provision (significantly more than ADG) - The parking numbers have been significantly reduced, while the parking proposed is still in excess of the minimum RMS guidelines. The numbers proposed allow for a single space to be allocated to each unit and two spaces to be allocated to 3 bedroom units. The resultant basement footprint has been significantly reduced which has allowed for the incorporation of deep soil planting zones along the eastern, southern and street (western) boundaries;
- Setback to side boundaries – refer to comments provided under point 5 above;
- Façade composition & aesthetics – The facade composition, material choices and aesthetics have been reviewed in line with the amended planning and have been simplified to achieve more harmonious outcome. The provision of sun shading has also been reviewed in regard to the building orientation;
- Landscape treatment - The landscape within the front set back has been adjusted to incorporate significant tree shrub and ground cover planting that comply with Council's Restoration Green Web requirements. Planters along the northern boundary are 800mm deep, and able to support small to medium deciduous planting shown. The basement to the southeast corner has been adjusted to allow large tree planting within deep soil to address the issue of façade screening. The basement has been adjusted to increase the width of deep soil along the eastern and southern boundary, allowing for the inclusion of significant tree and screen planting. Suitable 1:100 scale landscape sections have been provided;
- Solar access – refer to comments provided under point 6 above;
- Northern orientation and internal layout of some apartments could be improved – The apartment layouts have been amended to incorporate the comments of the ARAP report, maximising northern aspect where applicable;
- Design of communal roof top - The design of the communal open space on the roof top has been reviewed and the BBQ previously proposed noted. The detailed design of the proposed pergola will address the need for sun shading. As all residents and their guests will have access to toilet facilities within their units via lift access;
- Only 1 lift provided for 48 units (and 10 units per floor) – The building only has a total of five storeys which is well under the 10 storey criteria as set out in the ADG.

## 9. Storage Areas

Apartment storage – Apartment storage requirements have been provided as per ADG requirements. Refer the apartment storage diagrams and schedule provided within the amended plans.

## 10. Landscape Design

The landscape planting design has been updated to comply with Council's Green Web Restoration requirements

The landscape has been updated to incorporate significant tree shrub and ground cover planting within the buildings front set back.

Synthetic grass has been deleted from the ground floor landscape design.

Soil depths over concrete podium and rooftop as noted have been adopted throughout.

The planting design has been adjusted to reflect a less rigid aesthetic where visible from the public domain (front setback) and ground floor apartments where deemed appropriate. Retained areas

of Units 2, 3, 4 & 5 where facing Taren Point Road remain as originally designed. The rooftop garden design is a mix of formal hedge planting (that forms as an effective windbreak) in combination of informal ground cover planting.

## **Conclusion**

As demonstrated above, the proposal has been amended in response to Council's and ARAP's comments.

We trust that the amended documentation is sufficient and self-explanatory. However, should you require any further information or clarification in this regard, please do not hesitate to contact our office or the applicant (Joseph Scuderi on 0410 500 959).

Yours faithfully,

**PLANNING INGENUITY PTY LTD**



Benjamin Black  
**DIRECTOR**

## **Annexures**

**Annexure A** – Revised Architectural DA Package

**Annexure B** – Revised Landscape DA Package

**Annexure C** – Clause 4.6 Variation

**Annexure D** – Letter from Mills Oakley re GFA Definition

**Annexure E** – Revised Site Waste Management Plan



## ANNEXURE A

### REVISED ARCHITECTURAL PACKAGE



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## ANNEXURE B

### REVISED LANDSCAPE PACKAGE



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Suite 6, 65-67 Burelli St  
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## ANNEXURE C

### REVISED CLAUSE 4.6 VARIATION – BUILDING HEIGHT



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## **CLAUSE 4.6 VARIATION STATEMENT (AMENDED)**

### **MAXIMUM BUILDING HEIGHT (CLAUSE 4.3)**

#### **1. Introduction**

Clause 4.3 (2) of SLEP 2015 relates to the maximum height requirements and refers to the *Height of Buildings Map*. The relevant map identifies the subject site as having a maximum height of 16m. Building height is defined as:

“ **building height** (or **height of building**) means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.”

As indicated in the sectional drawing included in Figure 1 below, the lift overrun, lobby area and the roof over the courtyard located on the roof level exceeds the maximum 16m height limit. The non-complying portions of the building extend to a maximum height of 18.9m, resulting in a 2.9m departure from the applicable control. The non-compliance is isolated to the central part of the building on the roof level and does not add to the visible bulk of the building when viewed from the adjacent street frontage. The projection above the 16m height limit is indicated in Sections AA and BB submitted with the amended plan set.

In relation to the above non-compliances, the portion of the building that extends above 16m relates to a lift overrun, lobby, roof terrace walls and pergola that are located at the central portion of the top of the building. These elements of the building are functional requirements to enable disabled access to and enjoyment of the roof terrace which results in obvious amenity benefits for future residents. The ability to provide access to the roof by way of a pedestrian lift allows for equitable access as opposed to providing a stairway where a lift overrun would not be required.

It is hereby requested that an exception to this development standard be granted pursuant to clause 4.6 so as to permit the subject development resulting in non-compliances with each aspect of the height requirements.

The objectives and provisions of clause 4.6 are as follows:

#### **“4.6 Exceptions to development standards**

(1) *The objectives of this clause are as follows:*

- (a) *to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
- (b) *to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

(2) *Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.*

(3) *Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:*

- (a) *that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
- (b) *that there are sufficient environmental planning grounds to justify contravening the development standard.*

(4) *Development consent must not be granted for development that contravenes a development standard unless:*

- (a) *the consent authority is satisfied that:*

- (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and
  - (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and
  - (b) the concurrence of the Director-General has been obtained.
- (5) In deciding whether to grant concurrence, the Director-General must consider:
- (a) whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and
  - (b) the public benefit of maintaining the development standard, and
  - (c) any other matters required to be taken into consideration by the Director-General before granting concurrence.
- (6) Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone E2 Environmental Conservation, Zone E3 Environmental Management or Zone E4 Environmental Living if:
- (a) the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or
  - (b) the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.
- Note.** When this Plan was made it did not include Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone E2 Environmental Conservation, Zone E3 Environmental Management or Zone E4 Environmental Living.
- (7) After determining a development application made pursuant to this clause, the consent authority must keep a record of its assessment of the factors required to be addressed in the applicant's written request referred to in subclause (3).
- (8) This clause does not allow development consent to be granted for development that would contravene any of the following:
- (a) a development standard for complying development,
  - (b) a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated,
  - (c) clause 5.4,
  - (ca) clause 4.3A (2)."

The development standards in clause 4.3 are not "expressly excluded" from the operation of clause 4.6. This submission will address the requirements of subclauses 4.6(3) & (4) in order to demonstrate that the exception sought is consistent with the exercise of "an appropriate degree of flexibility" in applying the development standard, and is therefore consistent with objective 1(a). In this regard, it is noted that the extent of the discretion afforded by subclause 4.6(2) is not numerically limited, in contrast with the development standards referred to in, for example, subclause 4.6(6).

The balance of this request will be divided into the following sections, each dealing with the nominated aspect of clause 4.6:

- consistency with the development standard objectives and the zone objectives (clause 4.6(a)(ii));
- sufficient environmental planning grounds to justify contravening the development standard (clause 4.6(3)(b)); and
- compliance is unreasonable or unnecessary in the circumstances of the case (clause 4.6(3)(a)).



## **2. Consistency with the development standard objectives and the zone objectives (clause 4.6(a)(ii))**

The objectives and relevant provisions of clause 4.3 are as follows, inter alia:

### **4.3 Height of buildings**

"(1) The objectives of this clause are as follows:

- (a) to ensure that the scale of buildings:
  - (i) is compatible with adjoining development, and
  - (ii) is consistent with the desired scale and character of the street and locality in which the buildings are located or the desired future scale and character, and
  - (iii) complements any natural landscape setting of the buildings,
- (b) to allow reasonable daylight access to all buildings and the public domain,
- (c) to minimise the impacts of new buildings on adjoining or nearby properties from loss of views, loss of privacy, overshadowing or visual intrusion,
- (d) to ensure that the visual impact of buildings is minimised when viewed from adjoining properties, the street, waterways and public reserves,
- (e) to ensure, where possible, that the height of non-residential buildings in residential zones is compatible with the scale of residential buildings in those zones,
- (f) to achieve transitions in building scale from higher intensity employment and retail centres to surrounding residential areas.

The *Height of Buildings Map* nominates a maximum height of 16m for the site. It is hereby requested that an exception to this development standard be granted pursuant to clause 4.6 so as to permit a maximum height of 18.9m for the subject development.

Objectives (e) and (f) are not applicable to the proposal. In order to address the requirements of subclause 4.6(4)(a)(ii), each of the relevant objectives of clause 4.4 are addressed in turn below.

### ***Objective (a)***

The proposal is an appropriate response to providing the permitted floor space ratio at site within a design that is sensitive to adjoining properties and presents as a suitable scale to the street. It is noted that objective (a) refers to being "compatible" with adjoining development. It is considered that "compatible" does not promote "sameness" in built form but rather requires that development fits comfortably with its urban context. Of relevance to this assessment are the comments of Roseth SC in *Project Venture Developments Pty Ltd v Pittwater Council* [\[2005\] NSWLEC 191](#):

" 22 There are many dictionary definitions of *compatible*. The most apposite meaning in an urban design context is *capable of existing together in harmony*. *Compatibility* is thus different from *sameness*. It is generally accepted that buildings can exist together in harmony without having the same density, scale or appearance, though as the difference in these attributes increases, harmony is harder to achieve."

The proposed encroachment into the maximum building height affects only the central portion of the building. At the side boundaries, the height is well below the maximum building height.

The proposed building has been designed to a high architectural standard. It has also been designed to relate to the sloping site topography and to minimise visual bulk along the street frontage. The proposed design provides a well resolved building, despite the constraints of the site.

The subject site is not situated within any specific “character area” and is not subject to a “desired future character statement”. The desired future character must therefore be gleaned from the suite of built form controls that apply under the LEP and Draft DCP 2015 and from the zone objectives. In this regard, the zone objectives promote the provision of varied housing types in a high density environment and in floor space terms, the proposal is within the allowable maximum FSR. Additionally, the site is located within the Caringbah North Precinct under the Draft DCP 2015, the strategy for which is to create an exemplary medium to high rise residential community in a landscaped setting. The proposed development is a high quality, well designed high density scheme sited within in a landscaped setting and is thus consistent with the vision for the Caringbah North Precinct.

Accordingly, it is considered that the scale of the building is compatible with adjoining development, the desired future character of the locality and the natural setting. The minor height breach does not offend this compatibility in any noticeable way. The proposal therefore satisfies Objective (a).

**Objective (b)**

In terms of daylight access to buildings and the public domain, the proposed height non-compliance does not contribute towards any additional overshadowing of the adjoining public domain.

It is considered that the proposal responds appropriately to the site and results in impacts that could be expected of the applicable planning controls. The variation to the building height will not impact on solar access to surrounding properties when compared to a fully compliant scheme. As such, no overshadowing impacts will be created as a result of the non-compliance.

As demonstrated in the shadow diagrams, the proposed development will maintain acceptable levels of sunlight to the adjoining site. In addition, it has been demonstrated that the development will achieve compliant solar access to the units proposed within the development.

**Objective (c):**

In terms of views, the height of the building will not result in any significant additional view loss compared with a compliant building. There are no existing scenic views from surrounding neighbours gained across the site. Refer to Section 4.3.6 of this Statement for further discussion on views.

In terms of privacy, the non-compliance will not have any additional impacts on adjoining properties. The primary outlook from the proposed buildings are to the west over Taren Point Road, not adjoining buildings.

The proposal will not compromise the use and enjoyment of neighbouring properties. The examination of the proposal in this report demonstrates that there will be no unreasonable detrimental impact to privacy and daylight access for neighbouring properties. The development will enhance the interface with the public domain.

In relation to solar access, this has been addressed in relation to Objective (c) above.

Matters of visual impact have largely been addressed in relation to Objective (a).

**Objective (d):**

Matters of visual bulk have largely been addressed in relation to Objective (a). In essence, it is considered that given the location of the proposed non-compliance, architectural treatment of the building in terms of setbacks, materials and viewing points from which the non-compliances would be seen, visual impacts will be minimal. The proposed development provides for a floor space ratio that is consistent with the maximum allowed. Accordingly, the proposal satisfies Objective (d).

The proposed development is therefore consistent with the objectives for maximum height, despite the numeric non-compliance.

**Zone Objectives**

Clause 4.6 (4) also requires consideration of the relevant zone objectives. The objectives of the *Zone R4 High Density Residential* are as follows:

- “ To provide for the housing needs of the community within a high density residential environment.*
- To provide a variety of housing types within a high density residential environment.*
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- To encourage the supply of housing that meets the needs of the Sutherland Shire’s population, particularly housing for older people and people with a disability.*
- To promote a high standard of urban design and residential amenity in a high quality landscape setting that is compatible with natural features.*
- To minimise the fragmentation of land that would prevent the achievement of high density residential development.”*

The zone objectives overlap to a large extent with the objectives of the height control and have been addressed above. Further to that, it is considered that the proposal directly responds to the housing needs of the community by providing a range of housing types in the form of one, two and three bedroom units, adaptable dwellings, and affordable rental housing.

**3. Sufficient environmental planning grounds to justify contravening the development standard (clause 4.6(3)(b))**

Having regard to Clause 4.6(3)(b) and the need to demonstrate that there are sufficient environmental planning grounds to justify contravening the development standard, as discussed above it is considered that there is an absence of significant impacts of the proposed non-compliance on the amenity of future building occupants, on area character and on neighbouring properties.

On “planning grounds” and in order to satisfy that the proposal meets objective 1(b) of clause 4.6 in that allowing flexibility in the particular circumstances of this development will achieve “a better outcome for and from development”, as previously discussed, the development allows for the allocation of the permitted density on the site in a way that minimises impacts on adjoining properties and provides an appropriate provision of common open space area on the rooftop with associated lift access and shade structures.

As indicated, the proposal provides for a floor space ratio which complies with the maximum permitted and accordingly, the height breach is not associated with additional density beyond what is expected by the controls.

**4. Compliance is unreasonable or unnecessary in the circumstances of the case (clause 4.6(3)(a))**

In *Wehbe V Pittwater Council* (2007) NSW LEC 827 Preston CJ sets out ways of establishing that compliance with a development standard is unreasonable or unnecessary. It states, inter alia:

*“ An objection under SEPP 1 may be well founded and be consistent with the aims set out in clause 3 of the Policy in a variety of ways. The most commonly invoked way is to establish that compliance with the development standard is unreasonable or unnecessary because the objectives of the development standard are achieved notwithstanding non-compliance with the standard.”*

However, in *Four2Five v Ashfield Council* [2015] NSWLEC 90 the Land and Environment Court said that whether something was ‘unreasonable or unnecessary’ is now addressed specifically in clause 4.6(4)(a)(ii), with separate attention required to the question of whether compliance is unreasonable or unnecessary. Accordingly, while the objectives of the standard are achieved despite non-compliance with the standard, this request goes further. It seeks to demonstrate that requiring strict adherence to the standard would be ‘unreasonable or unnecessary’ for reasons **that are additional** to mere consistency with the development standard.

Preston CJ in *Wehbe* expressed the view that there are four additional ways in which an objection may be well founded and that approval of the objection may be consistent with the aims of the policy:

1. ...
2. *The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary;*
3. *The underlying object of purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable;*
4. *The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable;*
5. *The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard that would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone.*

This list was not exhaustive.

Additionally, in an analogous context, in *Botany Bay City Council v Saab Corp* [2011] NSWCA 308, Court of Appeal said that a requirement may be unreasonable when ‘the severity of the burden placed on the applicant is disproportionate to the consequences attributable to the proposed development’ (at paragraph 15).

Having regard to all of the above, it is considered that compliance with the maximum building height development standard is unreasonable or unnecessary in the circumstances of this case for the reasons set out below:

- Strict compliance with the height control will inevitably have one or more of the following consequences:
  - reduced amenity to the future occupants by reduction or relocation of common open space from the top floor;

- reduced internal amenity for the ground floor apartments (ie by lowering the overall height of the buildings to sit further below natural ground level);
- the omission of bedrooms or apartments from the development.

Each of these consequences carries a social, economic and environmental cost and would lead to a suboptimal environmental planning outcome (in comparison with the proposed development).

- To the extent that strict compliance must be achieved by reducing amenity to the adjoining school:
  - the height control objective set out in clause 4.3(c) of the LEP ('to minimise the impacts of new buildings on adjoining or nearby properties from loss of views, loss of privacy, overshadowing or visual intrusion') would be thwarted as adverse environmental effects (privacy and overshadowing impacts) would not be minimised.
  - a burden will be imposed on the applicant, future occupiers of the development, and the wider community and this burden will be disproportionate to the consequences attributable to the proposed development.
- To the extent that strict compliance must be achieved by reducing internal apartment amenity:
  - the LEP aim set out in Clause 1.2(2)(b) ('to establish a broad planning framework for controlling development, minimising adverse impacts of development, protecting areas from inappropriate development and **promoting a high standard of urban design**') would be undermined,
  - a burden would be imposed on the applicant and future occupiers of the development and this burden will be disproportionate to the consequences attributable to the proposed development,
- To the extent that strict compliance must be achieved by omitting bedrooms or apartments:
  - The R4 objective 'to encourage the supply of housing that meets the needs of the Sutherland Shire's population, particularly housing for older people and people with a disability' would be undermined.
  - the LEP aim set out in clause 1.2(2)(e) ('to concentrate development in localities with adequate infrastructure that is accessible to transport and centres') would be undermined;
  - the LEP aim set out in clause 1.2(2)(i) ('to meet the future housing needs of the population of Sutherland Shire would be undermined.

The proposal is compliant with the relevant objectives, with no (or negligible) adverse environmental impacts and will provide for additional affordable housing within a highly suitable location.

## 5. Conclusion

The development proposal will provide diverse and additional housing choice with superior amenity. This is achieved by well-planned and functional apartments with high solar and cross ventilation performance, and access to common open space.



Accordingly, for the reasons stated above, we respectfully request that the consent authority permit the variation to the maximum building height development standard.

## ANNEXURE D

### LETTER FROM MILLS OAKLEY REGARDING GFA DEFINITION



PLANNING INGENUITY

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20 April 2016

**Mills Oakley**  
ABN: 51 493 069 734

Your ref:  
Our ref: AJWS/AJWS/3194564

Joseph Scuderi  
Landmark Group  
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Dear Joseph

### **Landmark Group: Advice re DA at 316-320 Taren Point Road, Caringbah**

We refer to your request for legal advice in relation to Landmark Group's development application for a residential flat building (**the DA**) at 316-320 Taren Point Road, Caringbah (**the Site**).

### **Advice sought**

We have been asked to provide legal advice on whether your DA has correctly excluded the breezeways (**central corridors**) on the Ground level through to Level 4, for the purposes of calculating 'gross floor area' (**GFA**) within the meaning / definition contained in the *Sutherland Shire Local Environmental Plan 2015 (LEP)*.

### **Advice**

We have carefully considered the architectural drawings dated 19/11/2015 by Marchese partners, which also include the relevant GFA calculation drawings.

In our opinion, it is correct to exclude the central corridors from the calculation of 'gross floor area'. We therefore support the approach that has been taken.

In that regard, the critical factor in reaching our conclusion is that the definition of GFA in the Dictionary to the LEP (which is a Standard Instrument definition and therefore applies essentially across the entire State) expressly states that GFA is "*the sum of the floor area of each floor of a building measured from the internal face of external walls...measured at a height of 1.4 metres above the floor*" (our emphasis). In this case, an examination of the drawings evidences that the central corridor walls are quite plainly **internal walls, not external walls**. They therefore are not captured by the definition of GFA.

Lest there be any doubt on this issue we note that the Land and Environment Court has recently ruled on precisely this question, in the matter of *GGD Danks Street P/L and CR Danks Street P/L v Council of the City of Sydney* [2015] NSWLEC 1521. In that matter, Sydney Council sought to argue that a central corridor should be included in the definition of GFA notwithstanding that it was open at each end of the corridor, noting that this was Sydney Council's standard practice to always include such areas in the calculation of GFA (but excluding 2m depth of floor area adjacent to the fixed open louvres, for some unexplained

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reason). The Land and Environment Court ruled that the corridors were excluded from the definition of GFA, saying:

“...the area of the corridor, open at both ends, does not form part of the GFA . The definition of GFA in LEP 2012 requires the floor area of each level to be measured from the *internal face* of external walls, measured at a height of 1.4m above ground. The corridor is contained on either side by the external face of walls that form the external walls of the units on either side of the corridor (except for the courtyard of units 7, 20 and 32 on each floor, as the corridor is contained next to these units by the outer fence or wall that forms the edge of the private courtyard). The external face of the wall cannot be characterised as an *internal face*, because an external wall must provide the weatherproofing that maintains the internal wall or face as a dry wall, in other words, an external wall has a specific function that distinguishes it from an internal wall. In full brick construction, where the wall forms the façade of a building, the outer skin of brickwork is wet during inclement weather and the purpose of the cavity between the brickwork skins is to maintain the inner or internal wall as dry. The internal face of an external wall in the definition of GFA must refer to the interior surface of the wall that forms the façade or exterior of a dwelling, being the wall that weatherproofs the interior space, and cannot refer to the exterior surface of the outer wall. Therefore, the sum of the floor area of each floor of a building measured from the internal face of external walls requires the floor area that is included in the GFA calculation to be internal floor space.”

As can be seen, the Court’s decision is clear and is squarely applicable to your DA and accords with the approach that you have taken to the calculation of GFA in your DA. In particular, we note that the central corridors are open at either end (a 1m high balustrade is provided at each end of the corridor, which maintains an open void area between the northern and southern building components, and which we are instructed will be constructed to an external weather proof standard). As such, we are of the opinion that your DA has correctly excluded the central corridors from the calculation of GFA as defined in the LEP and directly in line with the recent Land and Environment Court ruling on the matter.

Should you have any questions in relation to the above, please do not hesitate to contact me on direct line 8035 7848.

Kind regards




Anthony Whealy  
**Partner**

Accredited Specialist Local Government & Planning

## ANNEXURE E

### REVISED SITE MANAGEMENT PLAN



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